

35 WEST BROADWAY (300 S) SUITE 404 - INTERIOR T.I. OF AN EXISTING SPACE

10/12/17  
PERMIT SET

GENERAL NOTES:

1. CONTRACTOR TO CONTACT THE UTAH DIVISION OF AIR QUALITY (801) 536-4000



**www.idealinc.us**  
**801-350-2046**

[illegible]

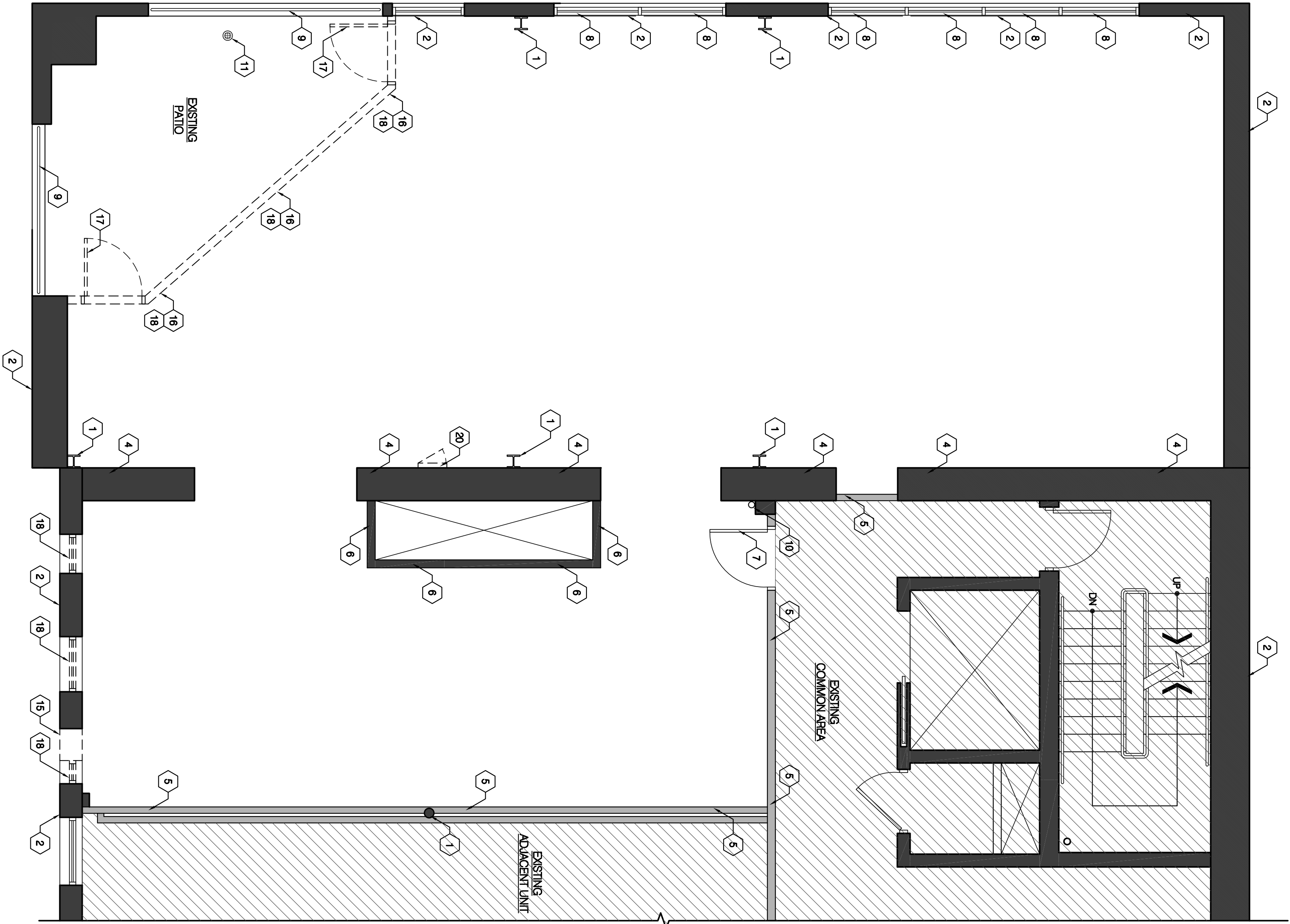


REFERENCE NOTES:

- EXISTING STEEL COLUMN, TO REMAIN.
- EXISTING EXTERIOR WALL, TO REMAIN.
- NOT USED.
- EXISTING INTERIOR WALL, TO REMAIN.
- EXISTING INTERIOR DEMISING WALL, TO REMAIN.
- EXISTING START WALL, TO REMAIN. START WALLS ARE TO BE REMOVED TO REVEAL AND REPAIRS BEHIND TO MATCH ADJACENT CONTIGUOUS FINISHING AS REQUIRED.
- EXISTING DOOR, TO REMAIN.
- EXISTING GLAZING, TO REMAIN.
- EXISTING GLAZING, TO REMAIN. CLEAN AND PREP FOR NEW PAINT.
- EXISTING PLUMBING CLEAN OUT, TO REMAIN.
- EXISTING FLOOR DRAIN, TO REMAIN. FLOOR DRAIN TO BE INSPECTED, CLEARED OF ANY OBSTRUCTIONS, AND CLEANED OUT AS REQ. TO ENSURE PROPER DRAINING.
- NOT USED.
- NOT USED.
- NOT USED.
- EXISTING EXTERIOR MASONRY WALL, TO BE REMOVED. PATCH, REPAIR, AND REINFORCE EXISTING BRICK TO RECEIVE NEW GLAZING AND REPAIR NEW WINDOW SCHEDULE FOR NEW WINDOW DIMENSIONS.
- EXISTING EXTERIOR STUD WALL, TO BE REMOVED. PATCH AND REPAIR FLOOR AND CEILING AS REQUIRED.
- EXISTING DOOR, TO BE REMOVED.
- EXISTING GLAZING, TO BE REMOVED. PATCH, REPAIR, AND REINFORCE REMAINING BRICK TO RECEIVE NEW GLAZING OR NEW INFILL WALL.
- NOT USED.
- EXISTING POWER PANEL, TO BE REMOVED AND RELOCATED. RE ELECTRICAL.

DEMOLITION NOTES:

- CONTRACTOR IS TO CONTACT THE UTAH DIVISION OF AIR QUALITY (801) 536-4000.
- CONTRACTOR IS TO ABIDE BY ALL REQUIREMENTS SET FORTH BY THE UTAH DIVISION OF AIR QUALITY.
- ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR U.I.A.Q. ALL TRASH AND RUBBISH SHALL BE DISPOSED OF OFF THE OWNERS PROPERTY.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY. WHERE ANY EXISTING CONSTRUCTION SHOWN AS PART OF THE DEMOLITION PLAN IS FOUND TO CONTAIN EXISTING STRUCTURAL MEMBERS, CONTRACTOR TO IMMEDIATELY CONTACT ARCHITECT. ALL EXISTING STRUCTURAL MEMBERS ARE TO REMAIN AND ARE NOT TO BE REMOVED OR ALTERED AS PART OF THE DEMOLITION PROCESS.
- REMOVE EXISTING CONSTRUCTION AS INDICATED IN DRAWINGS. THE TYPICAL WALL, FLOOR, CEILING, THEREIN, INCLUDES FINISHES, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS CONTAINED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR EXISTING WALL TO REMAIN TO MEET ORIGINAL OR INDICATED FIRE PROTECTION AND ANY STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK AND REPAIR SURFACES TO RECEIVE NEW FINISH.
- DEMOLITION WORK SHALL TAKE PLACE IN ACCORDANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.
- IT IS INTENDED THAT REMOVAL OF ALL MAJOR MECHANICAL, PLUMBING AND ELECTRICAL ITEMS SHALL BE COMPLETED BY THEIR RESPECTIVE TRADES. ALL ITEMS TO BE REMOVED ARE NOT NECESSARILY SHOWN ON THIS DEMOLITION PLAN. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION DOCUMENTS IN ITS ENTIRETY. ONCE REMOVAL OF MAJOR ITEMS IS COMPLETED BY THE RESPECTIVE TRADES, THE REMAINING ITEMS ARE TO BE REMOVED BY THE GENERAL CONTRACTOR.
- REMOVAL OF PLUMBING FIXTURES INCLUDES THE CAPPING OF ALL WATER SUPPLY AND DRAIN PIPING AT WALL OR FLOOR. ALL WALLS, FLOORS, AND FINISHES TO REMAIN WHICH ARE AFFECTED BY THE REMOVAL OF FIXTURES, CASEWORK OR OTHER EQUIPMENT SHALL BE REPAIRED TO BRING BACK TO LIKE-NEW CONDITION TO MATCH OTHER EXISTING CONDITIONS TO REMAIN.
- WALL, FLOOR AND CEILING DEMOLITION INCLUDES, BUT NOT LIMITED TO ANY AND ALL MASTICS, COBES AND FIXTURES THAT INTERFERE WITH NEW CONSTRUCTION.
- WHERE EXISTING CONSTRUCTION IS FOUND TO CONTAIN ASBESTOS, REMOVAL, DISPOSAL AND HANDLING OF ASBESTOS SHALL BE IN ACCORDANCE WITH THE FEDERAL AND STATE AND LOCAL CITY, COUNTY, STATE AND FEDERAL REGULATIONS. REPLACE THE ASBESTOS MATERIAL WITH NEW MATERIAL AS APPROVED BY OWNER.
- CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL EXISTING TO REMAIN FINISHES WHICH ARE DAMAGED DURING DEMOLITION, I.E. CEILING GRID, CEILING TILE, WALL COVERING, FLOOR COVERINGS, ETC.



WALL LEGEND	WALL SET
EXISTING EXTERIOR WALL	10-12-17
EXISTING INTERIOR WALL	17-18
DEMO WALL	18-20

GENERAL NOTES:

- CONTACT ARCHITECT FOR ANY CLARIFICATION ON THE DRAWINGS.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING ANY WORK.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR FULL COMPLIANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL REGULATIONS, COORDINATION OF SUBCONTRACTORS, COMPLETION OF THE SITE AND PROTECTION OF WORK.

DEMO PLAN

DRAWING NO.:

A-1.0

UNIT #404 - DEMO PLAN

1/4" = 1'-0"

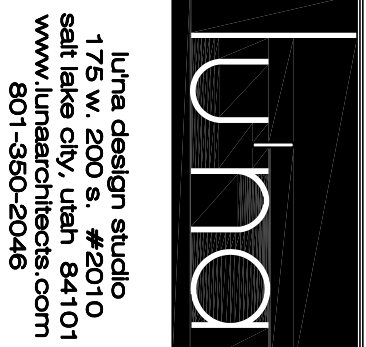
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UNIT #404

35 WEST BROADWAY (300 S) SUITE 404  
SALT LAKE CITY, UTAH 84101  
PERMIT SET - CONSTRUCTION DOCUMENTS

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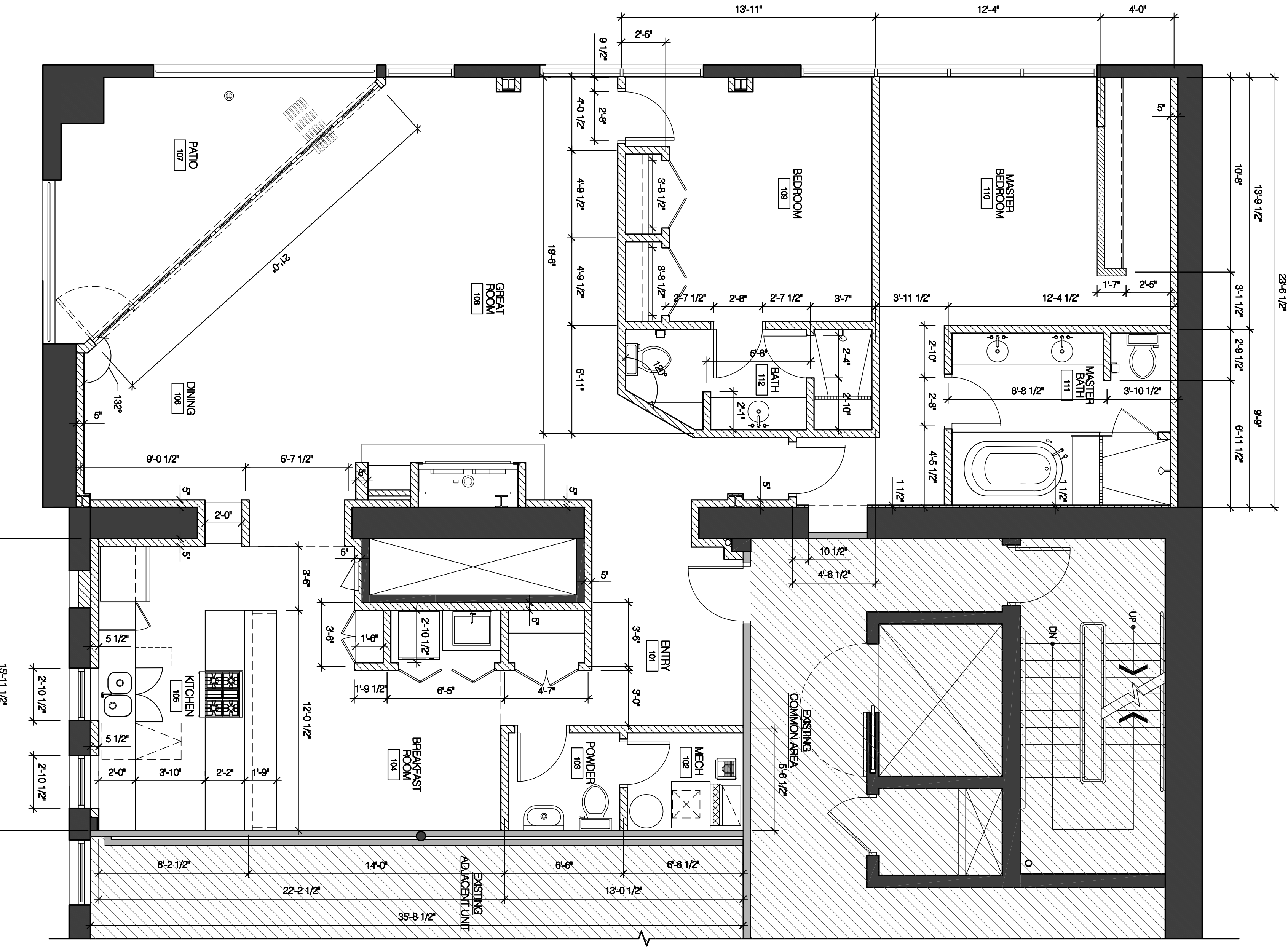


UNIT #404

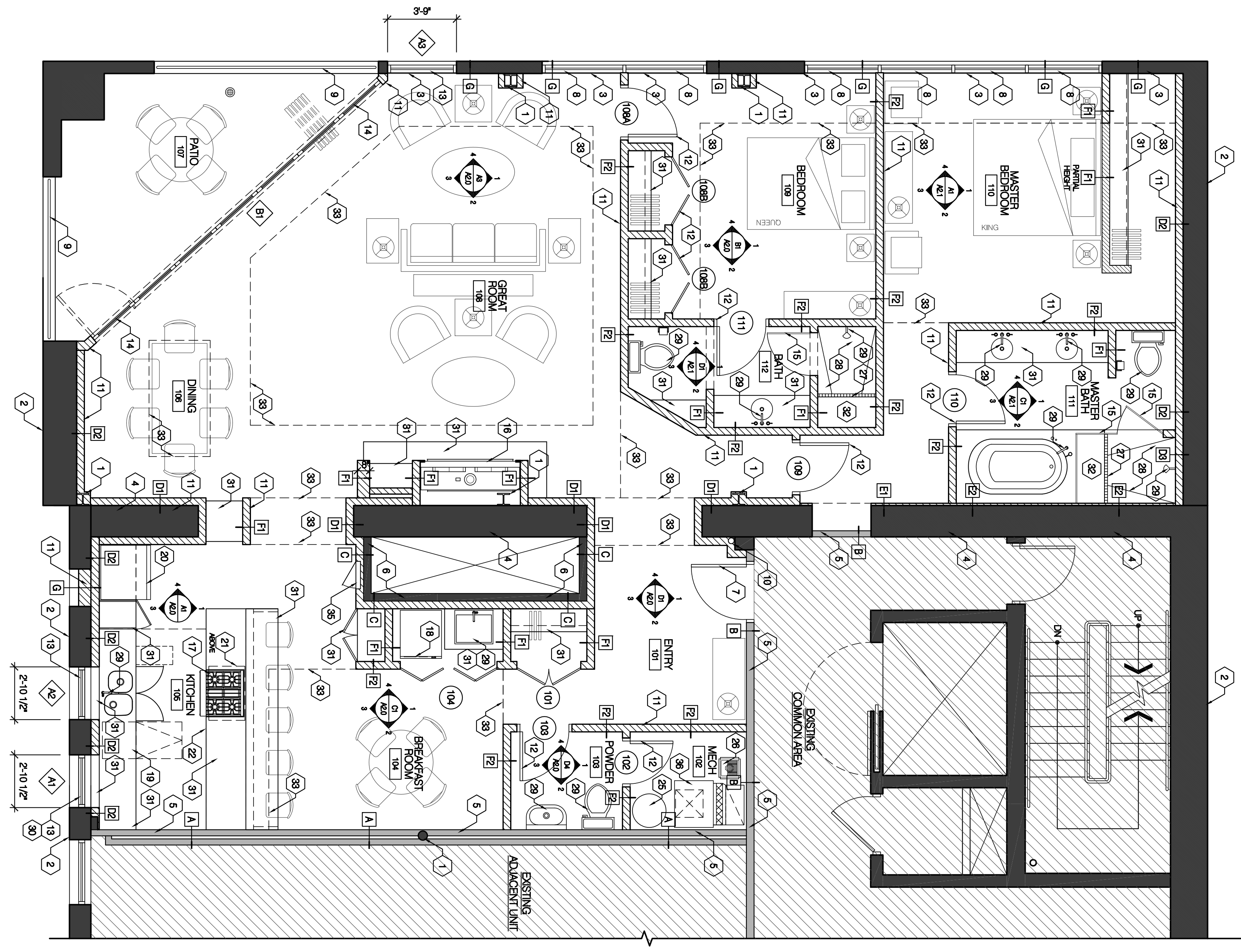
		WALL LEGEND	
	ISSUE DATE:	-	-
EXISTING EXTERIOR WALL	ISSUE DATE:	-	-
EXISTING INTERIOR WALL	ISSUE DATE:	-	-
NEW WALL	ISSUE DATE:	-	-

FLOOR  
PLAN &  
DIMENSION  
PLAN

## A-1.1



UNIT # 404 - DIMENSION PLAN



UNIT #404 - FLOOR PLAN



REFLECTED CEILING/POWER PLAN NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK. CONTACT ARCHITECT FOR CLARIFICATIONS AS NEEDED AND IF ANY DISCREPANCY OCCURS BETWEEN DRAWINGS AND FIELD CONDITIONS.

2. ARCHITECTURAL DRAWING REPRESENTS CONCEPTUAL LAYOUT OF LIGHT FIXTURES AND MECHANICAL DUCTS/ REGISTERS. MECHANICAL, PLUMBING AND ELECTRICAL TO BE COORDINATED WITH ENGINEERING DRAWINGS.

3. COORDINATE ALL MECHANICAL, PLUMBING AND ELECTRICAL WITH SPECIFIED EQUIPMENT.

4. ELECTRICIAN TO OBTAIN PERMITS FOR THE ELECTRICAL ENGINEERS PLANS. FINAL ELECTRICAL ROUNG-UP TO BE APPROVED BY THE ARCHITECT.

5. OWNER IS RESPONSIBLE FOR EMPLOYING LICENSED CONTRACTORS/ ENGINEERS FOR MECHANICAL AND ELECTRICAL PARTS. VENDOR SELECTION AND COORDINATION OF ALL UTILITIES, AND A BUILDING PERMIT AND FULL COMPLIANCE WITH ALL GOVERNING APPLICABLE CODES AND REGULATIONS.

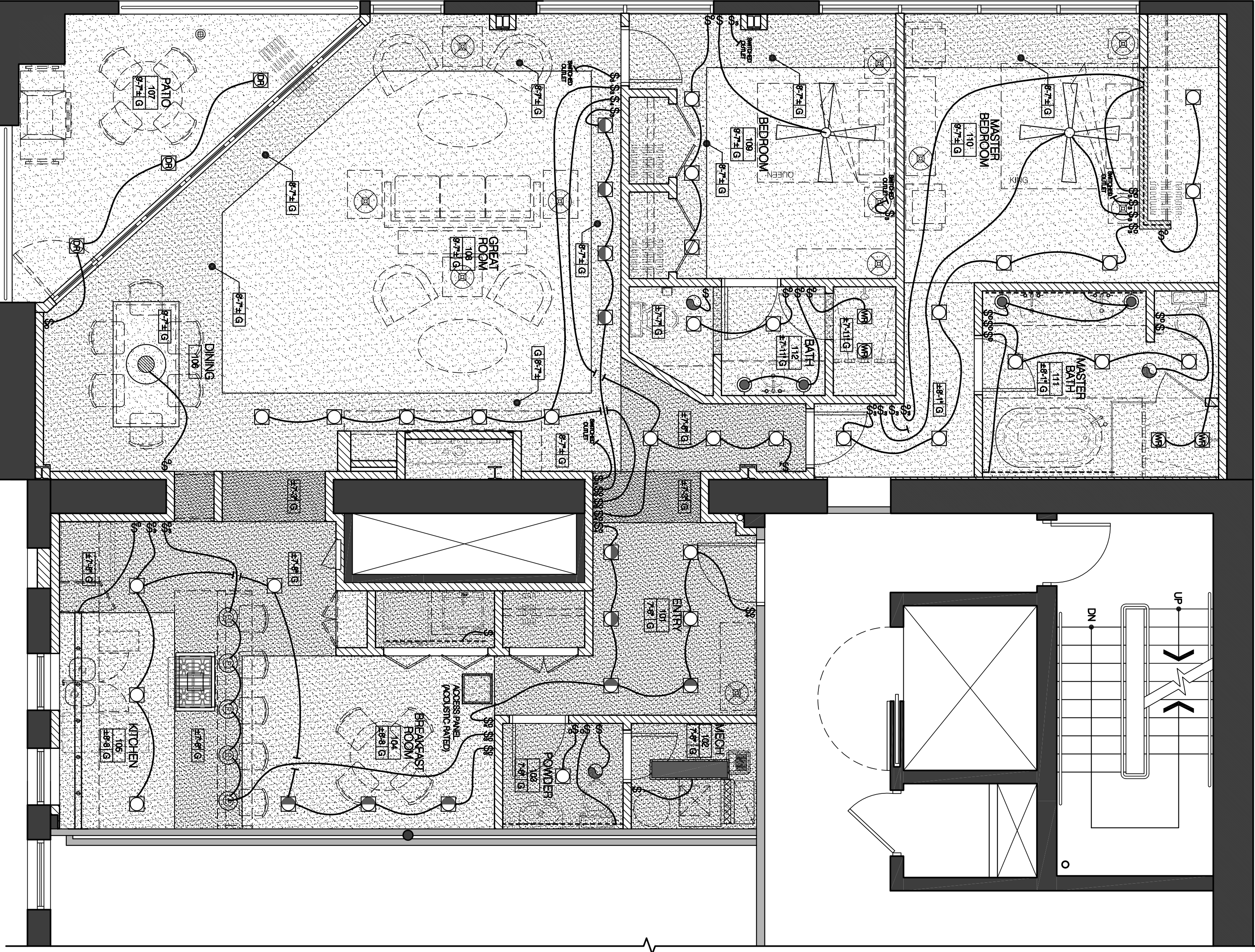
6. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTORS TO INSTALL AND SUPPLY ALL INSTALLATION AND SPECIFICATIONS TO THE BUILDING OFFICIAL AND INSTALL ALL COMPONENTS PER MANUFACTURER SPECIFICATIONS AND INSTALLATION REQUIREMENT.

7. EXISTING FIRE SPRINKLER LOCATIONS TO BE VERIFIED AND RELOCATED OR ADDED AS NECESSARY PER NEW PLAN. REFER TO A-5.1 FOR FIRE RATED & ACOUSTICAL CEILING ASSEMBLY DETAILS.
9. DO NOT WILLFULLY BUILD OR INSTALL ITEMS AS SHOWN ON THE DRAWINGS IF IT IS OBVIOUS IN THE FIELD THAT EXISTING CONDITIONS ARE OTHER THAN WHAT IS SHOWN ON THE DRAWINGS. ANY SUCH DIFFERENCES OR DISCREPANCIES SHOULD BE BROUGHT TO ARCHITECT'S AND OWNERS ATTENTION IMMEDIATELY. IN THE EVENT SUCH NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY TO ACCOMMODATE EXISTING CONDITIONS. THE CONTRACTOR SHALL EXAMINE ALL CONTRACT DOCUMENTS IN CONNECTION WITH THIS PROJECT AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS BETWEEN INFORMATION CONTAINED ON TWO DIFFERENT DRAWINGS. THE CONTRACTOR SHALL IMMEDIATELY REQUEST CLARIFICATION FROM THE ARCHITECT AND ONLY UPON RECEIVING CLARIFICATION SHALL PROCEED. FAILURE TO OBTAIN CLARIFICATION FROM THE ARCHITECT SHALL NOT RELIEVE THE CONTRACTOR FROM THE OBLIGATION TO PERFORM THE WORK IN ACCORDANCE WITH ALL OF THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL GOVERNING APPLICABLE CODES AND REGULATIONS.

10. ANY DAMAGE TO EXISTING CONDITIONS OCCURRING DURING THE WORK OR CAUSED BY WORK OF THE CONTRACTOR OR SUB-CONTRACTORS, SHALL BE REPAIRED AND/OR REMOVED TO A CONDITION ACCEPTABLE TO OWNER AND ARCHITECT, PAID BY THE CONTRACTOR.

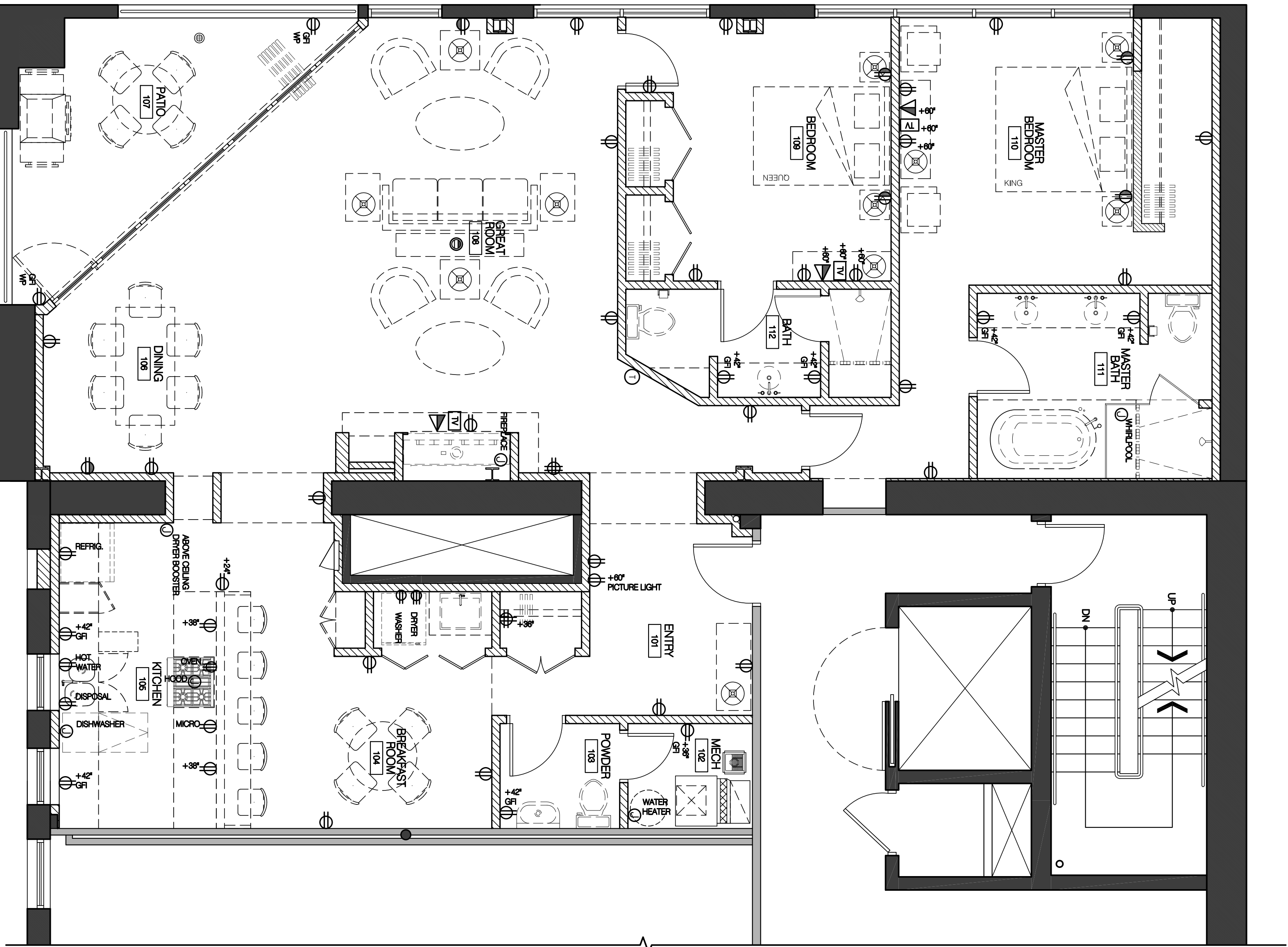
11. ALL FINISHINGS AND EQUIPMENT ARE N.I.C. UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

12. CEILING FANS REQUIRE A FAN BOX THAT IS LISTED FOR USE (NEC 314.27 - D)



UNIT #404 - REFLECTED CEILING PLAN

1/8" = 1'-0"



UNIT #404 - POWER PLAN

1/8" = 1'-0"

REFERENCE NOTES:

CEILING LEGEND:

ROOM IDENTIFICATION  
& FINISH SYMBOL

AAAA - ROOM NAME  
000 - ROOM NUMBER  
B-001.0 - CEILING FINISH  
CEILING HEIGHT

CEILING FINISH LEGEND:

CEILING FINISH: 0  
RE: CEILING DETAILS

LIGHT LEGEND:

RE: ELECTRICAL ENGINEERING

SUSPENDED CHANDELER  
(OWNER SUPPLIED)

SUSPENDED PENDANT LIGHT  
(OWNER SUPPLIED)

RECESSED 4" CAN LIGHT  
(OWNER SUPPLIED)

RECESSED 4" CAN LIGHT - ACCENT  
(OWNER SUPPLIED)

RECESSED 4" CAN LIGHT  
(OWNER SUPPLIED)

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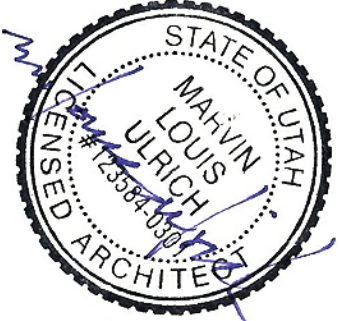
RECESSED 4" CAN LIGHT  
(OWNER SUPPLIED)

RECESSED 4" CAN LIGHT  
(OWNER SUPPLIED)

RECESSED 4" CAN LIGHT  
(OWNER SUPPLIED)



Utah design studio  
175 S 200 E  
Salt Lake City, Utah 84101  
www.umcarchitects.com  
801-580-2500



Stamp

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35 WEST BROADWAY (300 S) SUITE 404  
SALT LAKE CITY, UTAH 84101  
PERMIT SET - CONSTRUCTION DOCUMENTS

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REFLECTED CEILING & POWER PLAN

DRAWING NO.:

A-1.2



PLUMBING LEGEND: (Px) NOTE: ALL FIXTURES ARE OWNER SUPPLIED RE: PLUMBING

- P-1 TOILET FLOOR MOUNT
- P-2 SINK: WHITE UNDERMOUNT
- P-3 SINK: WHITE WALL HUNG (PROVIDE BLOCKING)
- P-4 WHIRLPOOL TUB:
- P-5 FAUCET:
- P-6 TUB FAUCET: MUST BE THERMOSTATIC OR PRESSURE BALANCE MIXING VALVE
- P-7 SHOWER CONTROL
- P-8 SHOWER HEAD
- P-9 HAND HELD SHOWER: W/ VACUUM BREAKER
- P-10 KITCHEN SINK
- P-11 KITCHEN FAUCET:
- P-12 KITCHEN DISPOSAL
- P-13 KITCHEN SINK: BLANCO, UNDERMOUNT
- P-14 LAUNDRY SINK: BLANCO, UNDERMOUNT
- P-15 LAUNDRY FAUCET:
- P-16 LAUNDRY SHOWER DRAIN
- P-17 FLOOR SINK
- P-18 TUB FAUCET: MUST BE THERMOSTATIC OR PRESSURE BALANCE MIXING VALVE

PLUMBING CONTRACTOR TO VERIFY COMPATIBILITY OF ALL OWNER SUPPLIED PLUMBING FIXTURES. ALL REQUIRED FITTINGS, HOSES, VALVES TO BE VERIFIED W/ SUBMITTALS ARE REQUIRED FOR APPROVAL BY ARCHITECT & ENGINEER.

ACCESSORY LEGEND: (Ax) NOTE: ALL ACCESSORIES ARE OWNER SUPPLIED

- A-1 TOILET PAPER HOLDER
- A-2 HAND TOWEL HOLDER
- A-3 TOWEL BAR
- A-4 SHOWER CADDE:

FINISH LEGEND: (Xx)

- (W1) WOOD FLOORING:
  - MAPLE, 5" BOARD
  - FINISHED W/ CLEAR COAT
  - SANDING REQUIRED FOR APPROVAL
  - BASE: 4" PORCELAIN PAINTED

- (T1) FLOOR TILE:
  - 12" X 12" PORCELAIN TILE
  - DALL TILE - CITY VIEW, NEIGHBORHOOD PARK ONE
  - BASE: 4" TILE BASE

- (T2) FLOOR TILE:
  - 12" X 12" PORCELAIN TILE
  - TBO
  - BASE: WALL TILE

- (T3) FLOOR TILE:
  - 12" X 12" PORCELAIN TILE
  - TBO
  - BASE: 4" PORCELAIN PAINTED

- (C1) CABINET: BRONZ LOKUM
- TBO
- BASE: 4" PORCELAIN PAINTED

(D1) QUOCEREX PRESTIGIAL DRAINING SYSTEM:

- POLY BERMALINE
- PROVIDE NEW EXTERIOR GROUND PLY WOOD S, 8" STRAP
- INSTALLED OVER EXISTING PATIO FLOOR USING STAINLESS STEEL SCREWS, APPLY POLYESTER MESH SEAM TAPE AT ALL JOINTS, PER MANUFACTURER SPECIFICATIONS.
- SLOPE FLOOR TOWARDS EXISTING FLOOR DRAIN
- SLOPE FLOOR TOWARDS EXISTING FLOOR DRAIN PRESTIGIAL DRAINING SYSTEM, APPLY POLYESTER MESH SEAM TAPE AT ALL JOINTS, PER MANUFACTURER SPECIFICATIONS.

FLOORING NOTE: INSTALL A CONTINUOUS SOUND REDUCING GASKING OVER FLOOR AND COORDINATE WITH SUBMITTALS REGARDING W/ ALL NEW FLOOR FINISH INSTALLATIONS.

- (W1) LARGE FORMHAT WALL TILE:
  - 12" X 24" PORCELAIN TILE
  - DALL TILE - FARRALE, CREME LINEN, P886
  - STACKED BOND PATTERN
  - GROUT: FROST (MIX-UP REQUIRED FOR APPROVAL)
  - ALL WALL TILE TO CONTINUE TO FLOOR (NO BASE)
  - ALL WALL TILE (WHERE OCCURS) TO BE LOCATED ABOVE COUNTERS AS BACK-SPLASH, WHERE NO TILE OCCURS QUARTZ TO BE BACK-SPLASH.
  - ALL TILE TO GIP BOARD TRANSITIONS SHOULD HAVE A SCAFFLISTER, COORDINATE W/ ARCHITECT FOR FINISH STUNISH.

- (W2) LARGE FORMHAT WALL TILE:
  - 12" X 24" PORCELAIN TILE
  - TBO
  - WALL TILE TO CONTINUE TO FLOOR (NO BASE)

- (SS) SOLID SURFACE QUARTZ: BATHROOM
- (SS) SOLID SURFACE QUARTZ: KITCHEN
- (SS) PRE-CAST CONCRETE STAINED DARK

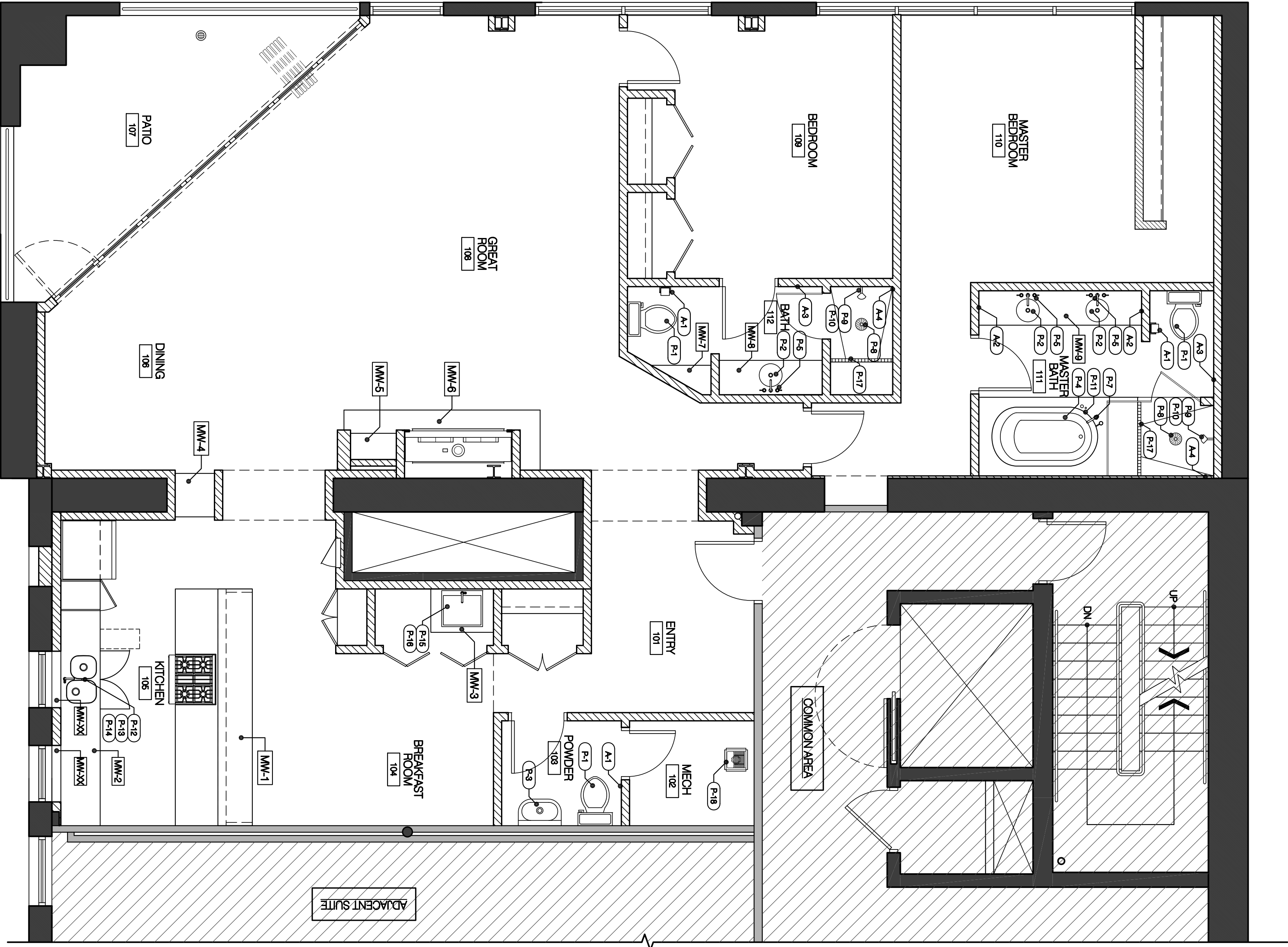
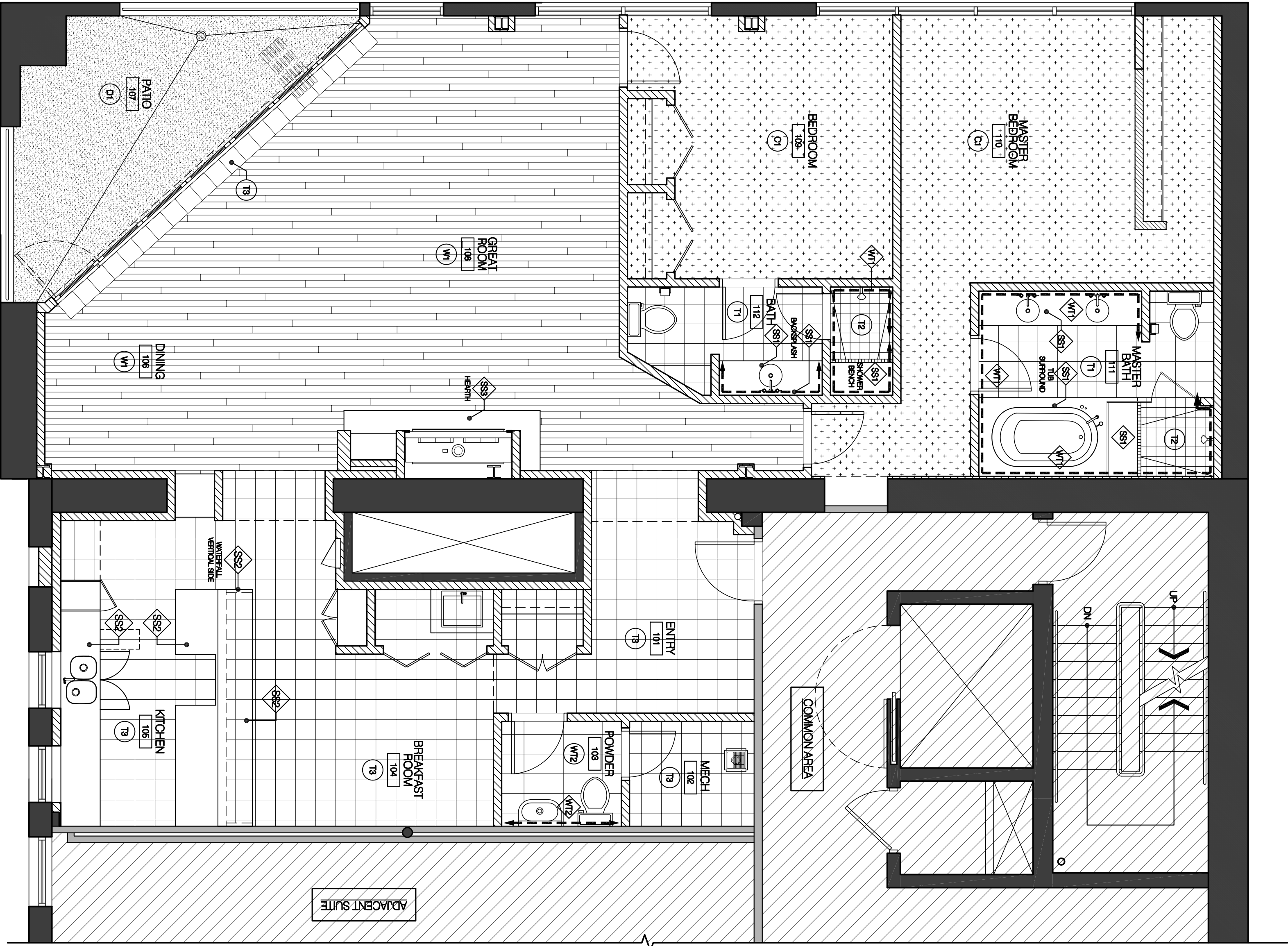
GENERAL NOTES:

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3. GENERAL CONTRACTOR IS RESPONSIBLE FOR FULL COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS, COORDINATION OF ALL TRADES, SAFETY AT THE SITE AND PROTECTION OF WORK COMPLETED.

FINISH MILLWORK & PLUMB FIXT PLAN

DRAWING NO.:

A-1.3



UNIT #404 - FINISH PLAN

1/8" = 1'-0"

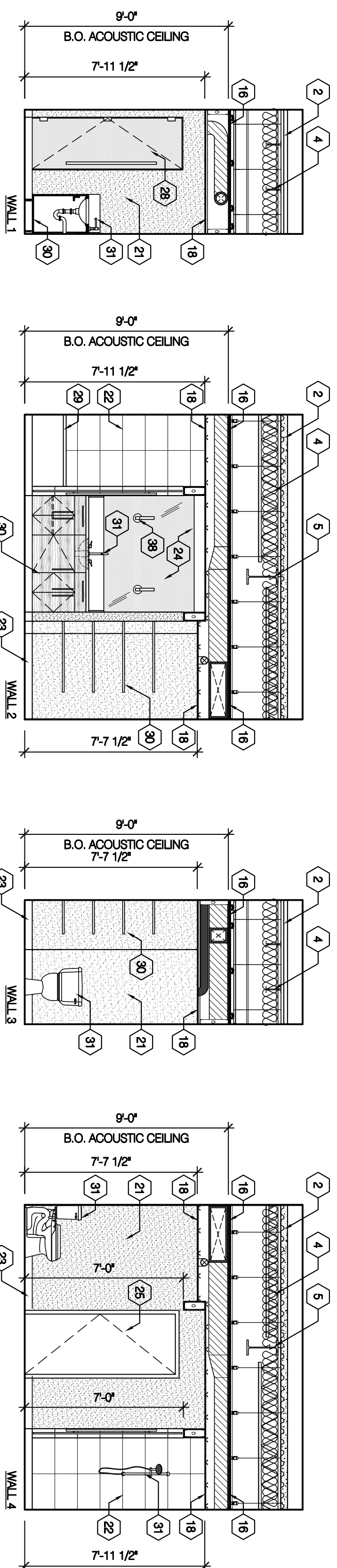
UNIT #404 - MILLWORK & PLUMBING FIXTURE PLAN

1/8" = 1'-0"

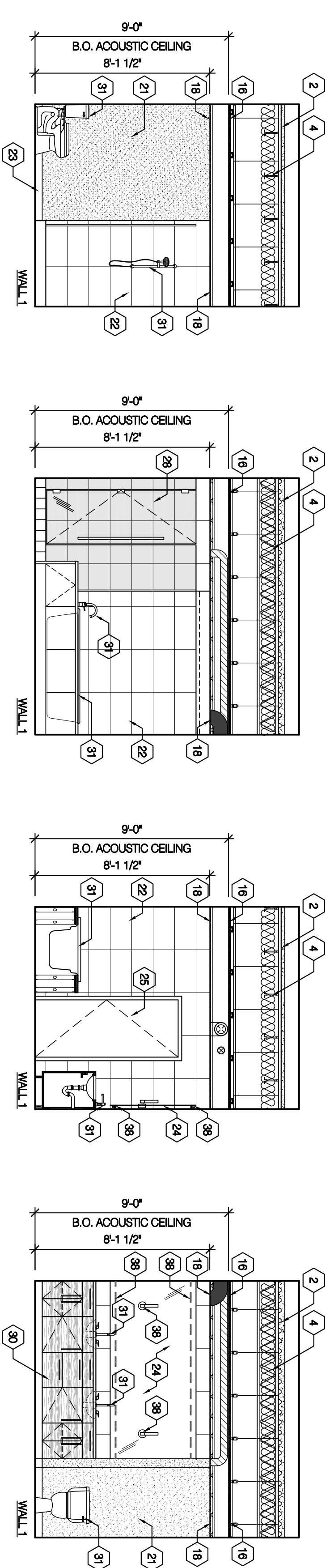




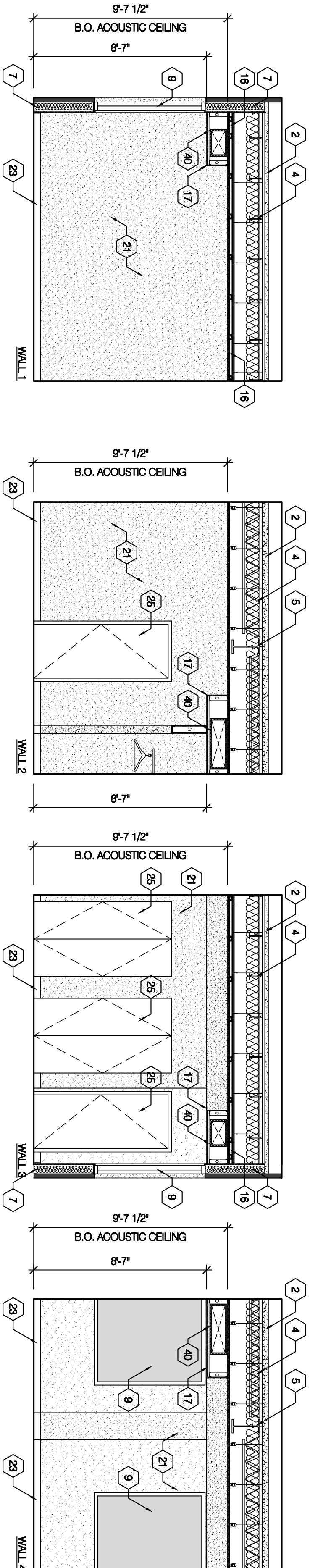




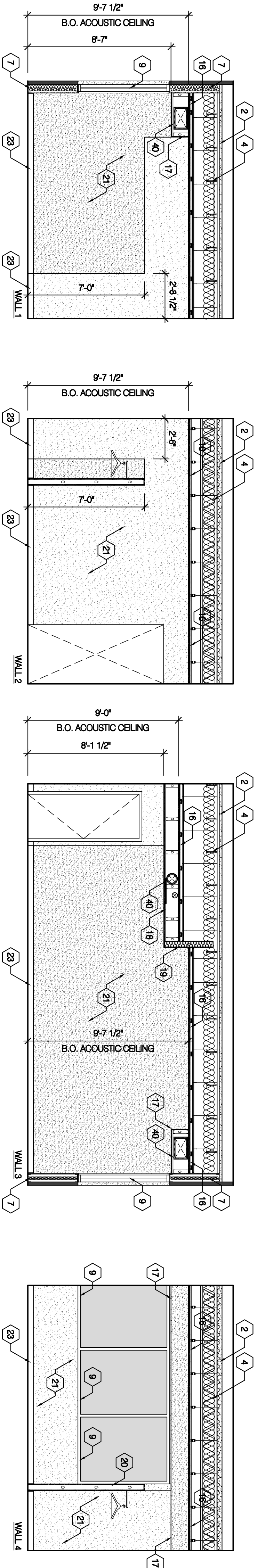
01 INTERIOR ELEVATION - BATH (111)

$$1/4^2 = 1/16$$


21 INTERIOR ELEVATION - MASTER BATH (110)

$$1/4'' = 1'-0''$$


B1 INTERIOR ELEVATION - BEDROOM (108)

$$1/4'' = 1'-0''$$


INTERIOR ELEVATION - MASTER BEDROOM (109)

$$1/4^m = 1 \cdot 0^m$$

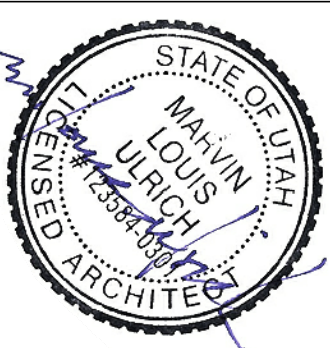
## REFERENCE NOTES:

- |     |                                |
|-----|--------------------------------|
| 1.  | EXISTING P.WOOD SLAB-FLOOR.    |
| 2.  | FLOOR DECK.                    |
| 3.  | EXISTING WOOD FLOOR JOIST.     |
| 4.  | EXISTING STEEL FLOOR JOIST.    |
| 5.  | EXISTING STEEL BEAM.           |
| 6.  | EXISTING MASONRY WALL.         |
| 7.  | EXISTING EXTERIOR WALL.        |
| 8.  | EXISTING WINDOW.               |
| 9.  | EXISTING WOOD.                 |
| 10. | EXISTING PLUMBING.             |
| 11. | NOT USED.                      |
| 12. | NOT USED.                      |
| 13. | NOT USED.                      |
| 14. | NOT USED.                      |
| 15. | NEW 1-HOUR FIRE RATED CEILING. |
| 16. | NEW SOUND ISOLATION CEILING.   |
| 17. | NEW MECHANICAL DUCTS.          |
| 18. | NEW FRAMED BEAM.               |
| 19. | NEW STUD WALL.                 |
| 20. | NEW STUD WALL.                 |
| 21. | NEW PARTED GYP BOARD.          |
| 22. | NEW WALL.                      |
| 23. | NEW WALL BASE.                 |
| 24. | NEW FRAMED BEAM.               |
| 25. | NEW INTERIOR DOOR.             |
| 26. | NEW FOLDING EXTERIOR DOOR.     |
| 27. | NEW WINDOW.                    |
| 28. | NEW TEMPERED GLASS SHOW DOOR.  |
| 29. | NEW FRAMED SHOWER BENCH.       |
| 30. | NEW WALL/DOOR.                 |
| 31. | NEW PLUMBING FIXTURE.          |
| 32. | NEW REFRIGERATOR.              |
| 33. | NEW DISHWASHER.                |
| 34. | NEW GAS RANGE.                 |
| 35. | NEW REFRIGERATOR.              |
| 36. | NEW RANGE HOOD.                |
| 37. | NEW UNDER COUNTER SINK/WAVE.   |
| 38. | NEW LIGHT FIXTURE.             |
| 39. | NOT USED.                      |
| 40. | NEW MECHANICAL DUCT.           |
| 41. | REFLECTED CEILING PLAN.        |
| 42. | MECHANICAL.                    |

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STAM

UNIT #404

35 WEST BROADWAY (300 S) SUITE 404

SALT LAKE CITY, UTAH 84101

PERMIT SET - CONSTRUCTION DOCUMENTS

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ISSUE DATE:	10-12-17	PERMIT SET
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# INTERIOR ELEVATIONS

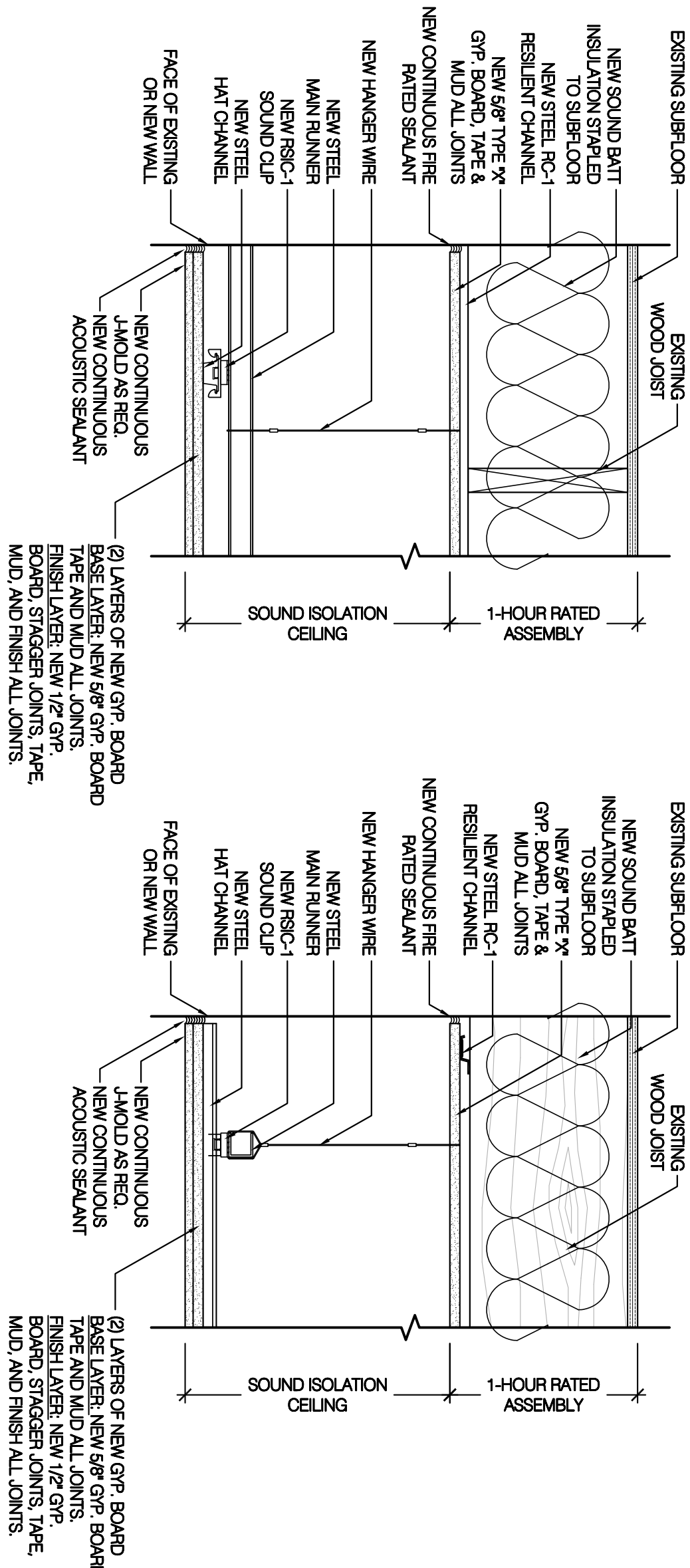
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# A-2.1





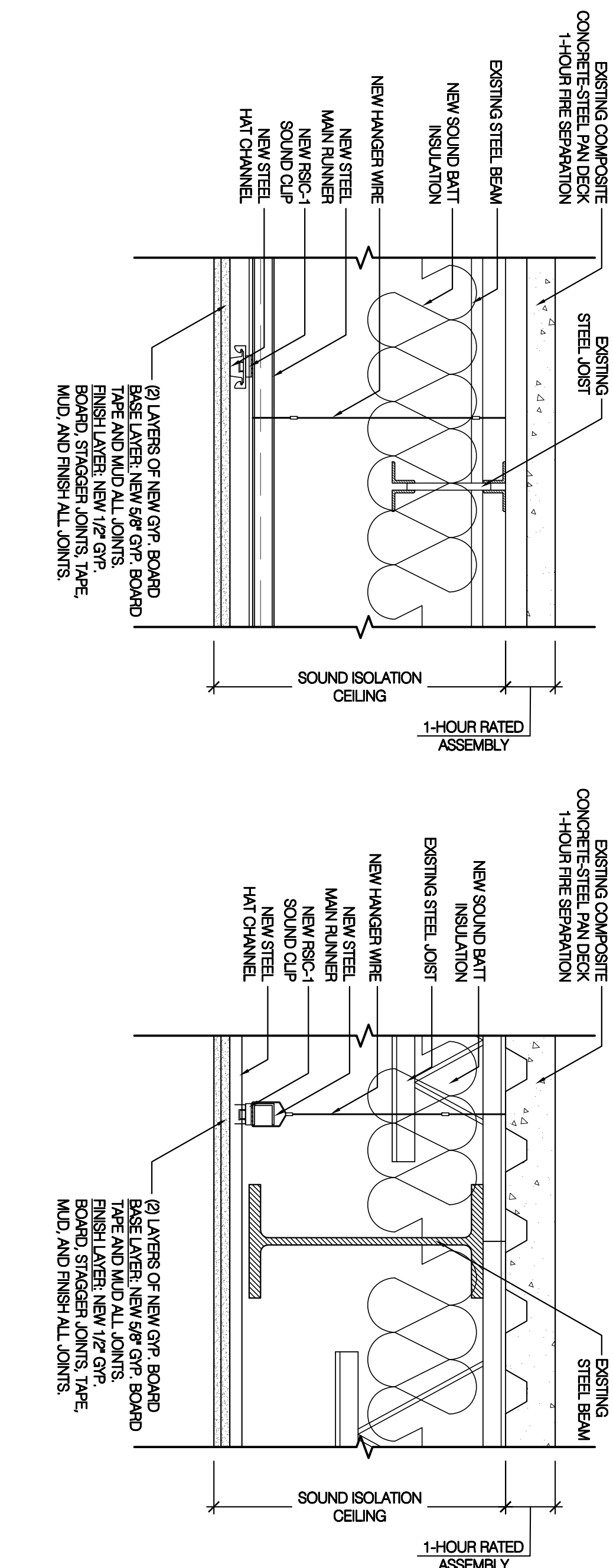




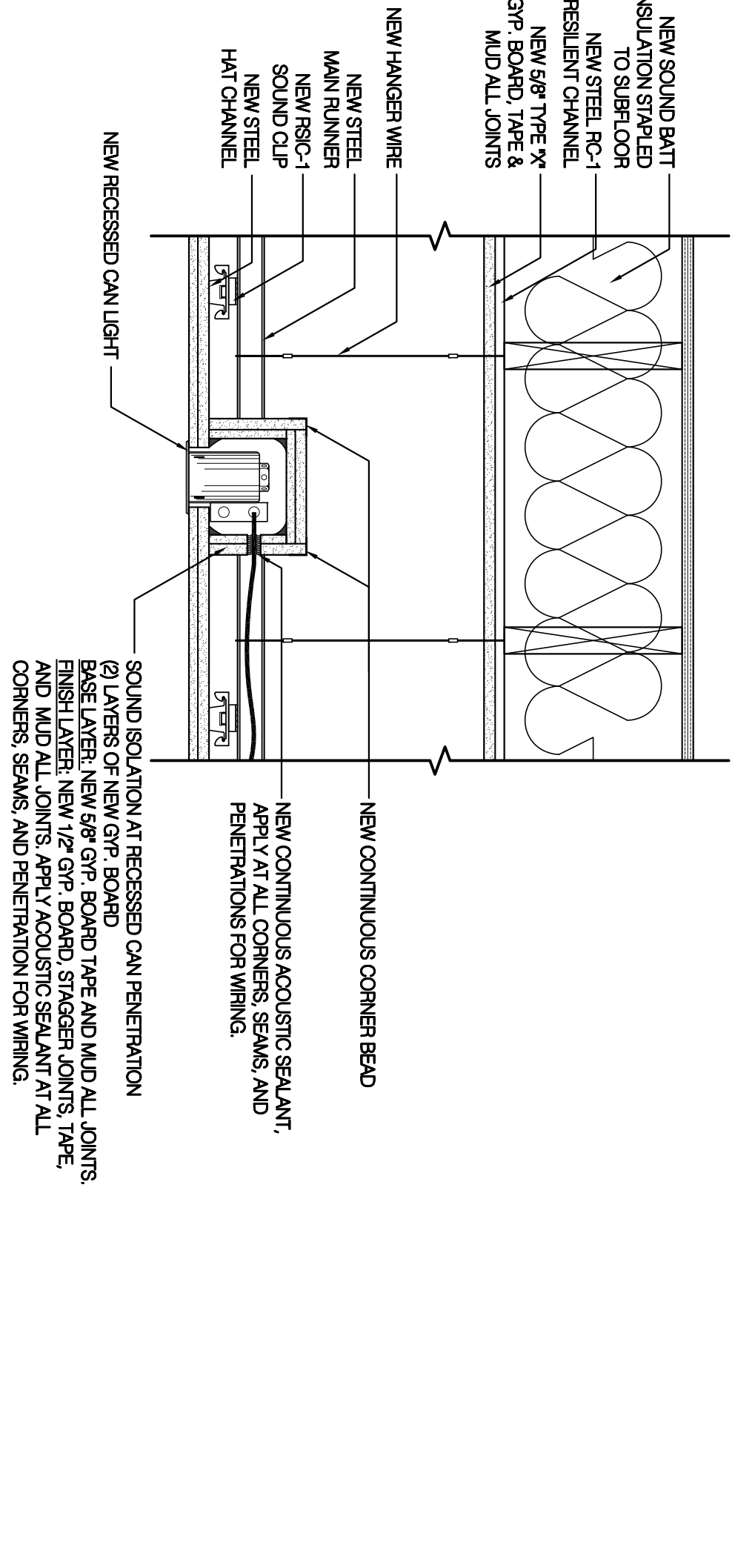
**CEILING ASSEMBLY 1**  
**1-HOUR FIRE RATED & SOUND ISOLATION ASSEMBLY**  
1 1/2" = 1'-0"

GYPSUM ASSOCIATION : 1-HOUR FIRE RATED CEILING

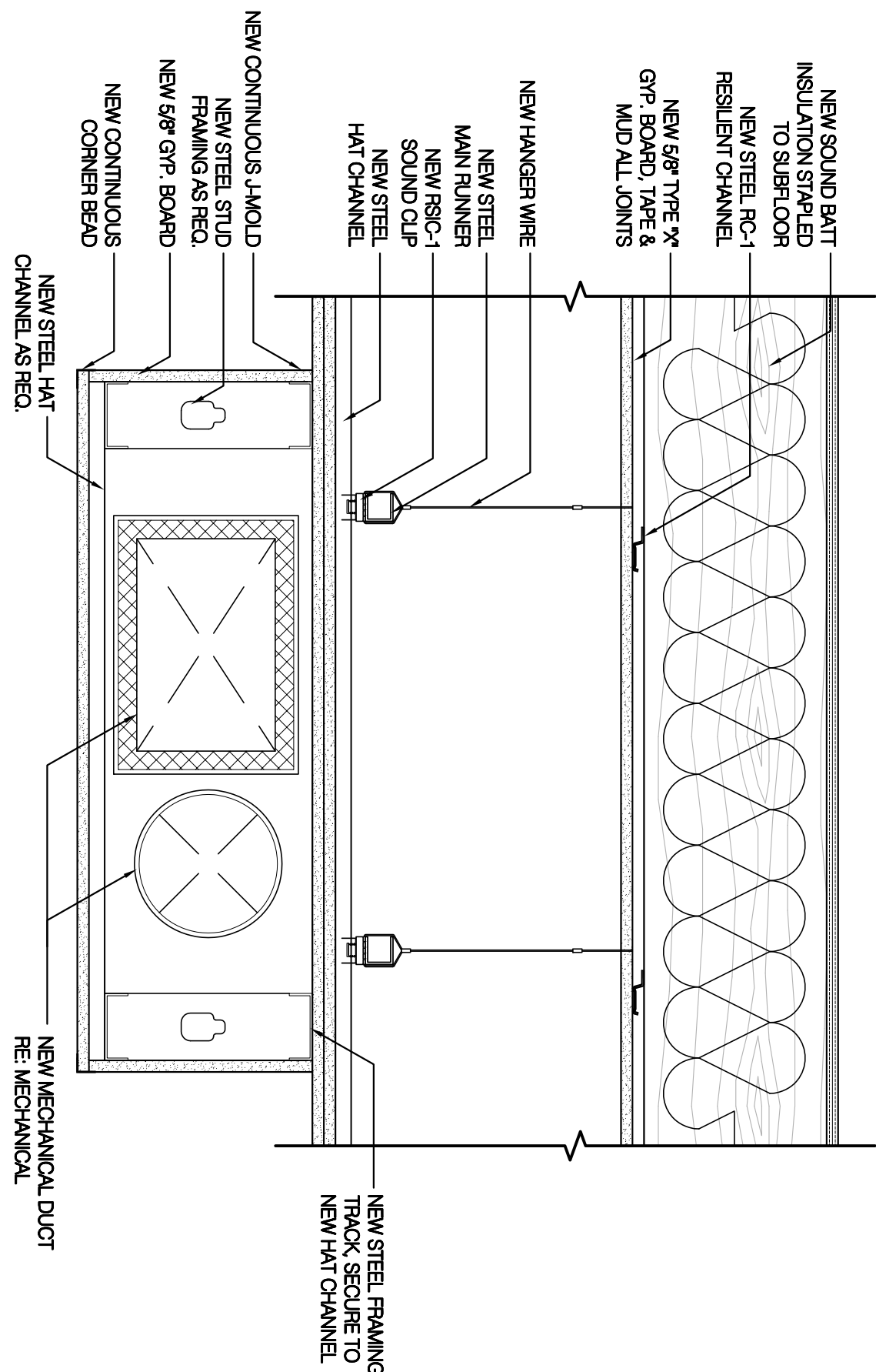
ONE LAYER OF 5/8" TYPE "X" GYP. BOARD OR GYP. BOARD WITH RESILIENT Furring CHANNELS @ 24" O.C. WITH 1 TYPE "S" GYP. WALL SCREWS @ 8" O.C. AT ENDS AND 12" O.C. AT INTERMEDIATE BAYS. ALL JOINTS LOCATED BETWEEN CHANNELS. JOINTS LOCATED AT JOINTS OF CHANNELS. 64" LONG WITH SCREWS @ 8" O.C. RESILIENT Furring CHANNELS APPLIED AT RIGHT ANGLES TO 2X10 WOOD JOISTS 18" O.C. WITH 64" COATED WALLS, 17/8" LONG, 0.068" SHAUK, 1/4" HEADS, TWO PER JOIST. WOOD JOISTS SUPPORTING 84" INTERIOR PL. WOOD WITH EXTERIOR GLE. SLAB/FLOOR AND 84" PARTICLE BOARD, 1 1/2" RES. 3 1/2" GLASS FIBER INSULATION BATTIS, 0.7 PCF. FRICTION FIT IN JOIST CAVITIES SUPPORTED ALTERNATELY EVERY 12" BY WIRE RODS AND RESILIENT Furring CHANNELS.



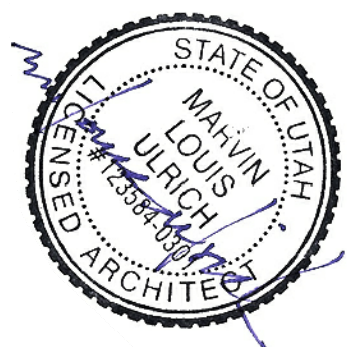
**CEILING ASSEMBLY 2**  
**1-HOUR FIRE RATED & SOUND ISOLATION ASSEMBLY**  
1 1/2" = 1'-0"



**B1**  
**CEILING ASSEMBLY - SOUND ISOLATION RECESSED CAN LIGHT**  
1 1/2" = 1'-0"



**B3**  
**CEILING ASSEMBLY - MECHANICAL SOFFIT**  
1 1/2" = 1'-0"



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Salt Lake City, Utah 84101  
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**UNIT #404**  
35 WEST BROADWAY (300 S) SUITE 404  
SALT LAKE CITY, UTAH 84101  
PERMIT SET - CONSTRUCTION DOCUMENTS

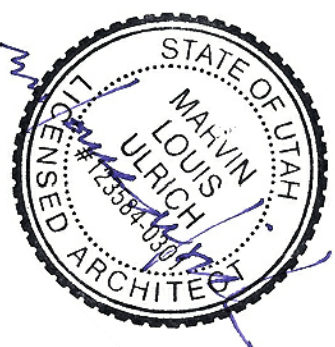
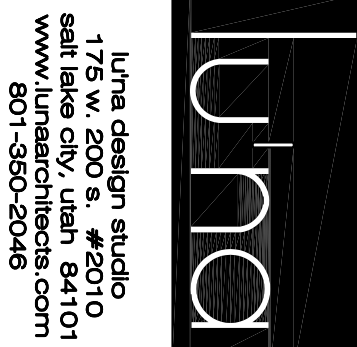
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**CEILING DETAILS**  
**A-5.1**



REFERENCE NOTES:



STAMP

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GENERAL NOTES:

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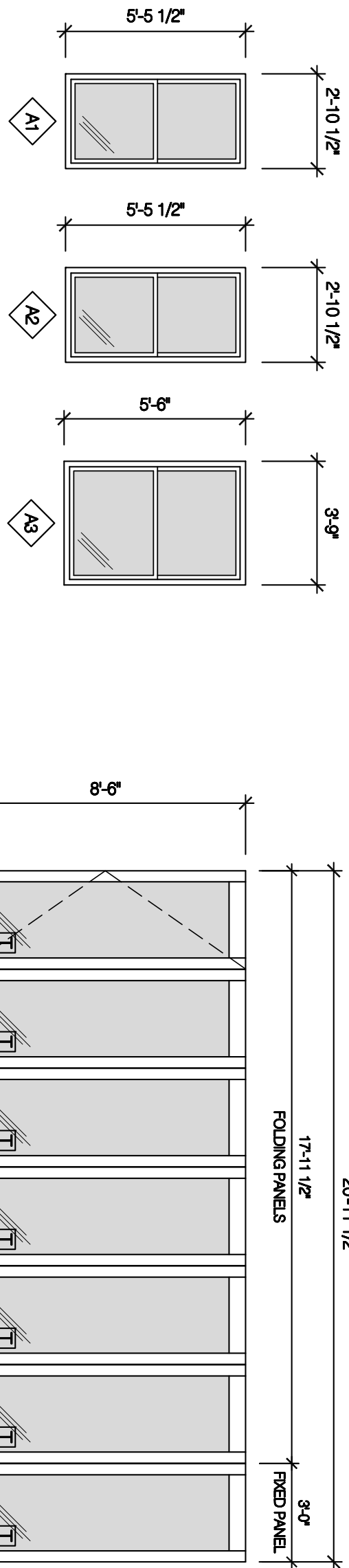
DOOR & WINDOW SCHEDULE

DRAWING NO.:

A-5.2

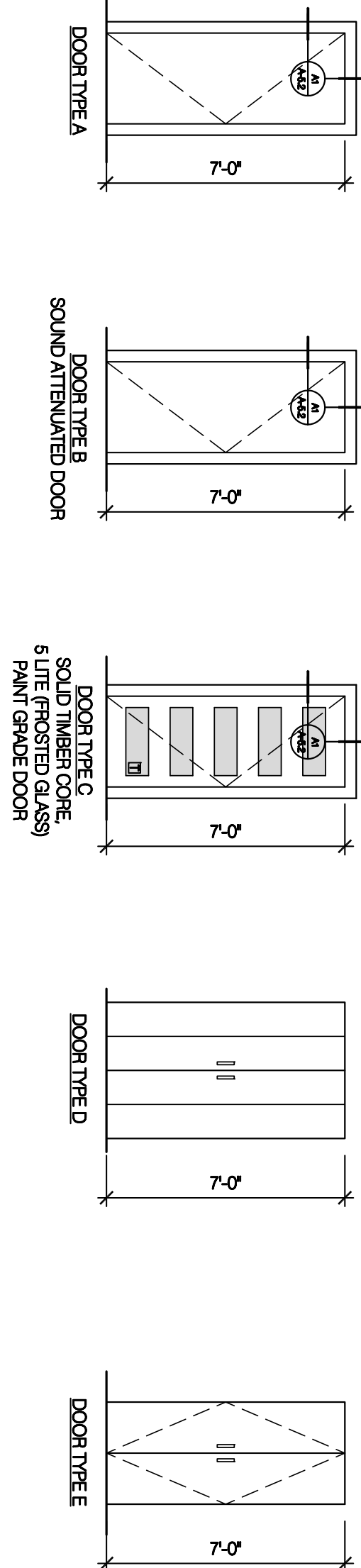
WINDOW SCHEDULE

MARK	WINDOW										NOTES	
	SIZE			FRAME/ MATERIAL	TYPE	GLASS TYPE	DETAIL			U VALUE		
	WIDTH	HEIGHT	HEAD HEIGHT				HEAD	JAMB	SILL			
UNIT #404												
A1	2'-10 1/2"	5'-5 1/2"	8'-2"	ALUMIN	DOUBLE HUNG	DOUBLE GLAZED LOWE INSULATED					.30 MIN.	FRAME TO MATCH EXISTING WINDOWS
A2	2'-10 1/2"	5'-5 1/2"	8'-2"	ALUMIN	DOUBLE HUNG	DOUBLE GLAZED LOWE INSULATED					.30 MIN.	FRAME TO MATCH EXISTING WINDOWS
A3	3'-9"	5'-9"	8'-6"	ALUMIN	DOUBLE HUNG	DOUBLE GLAZED LOWE INSULATED					.30 MIN.	FRAME TO MATCH EXISTING WINDOWS
B1	20'-11 1/2"	8'-9"	8'-6"	ALUMIN	FOLDING	DOUBLE GLAZED LOWE INSULATED					.30 MIN.	FRAME TO MATCH EXISTING WINDOWS
SECURITY LOOKS ON ALL WINDOWS												



WINDOW SCHEDULE

1/4" = 1'-0"



DOOR SCHEDULE

1/4" = 1'-0"

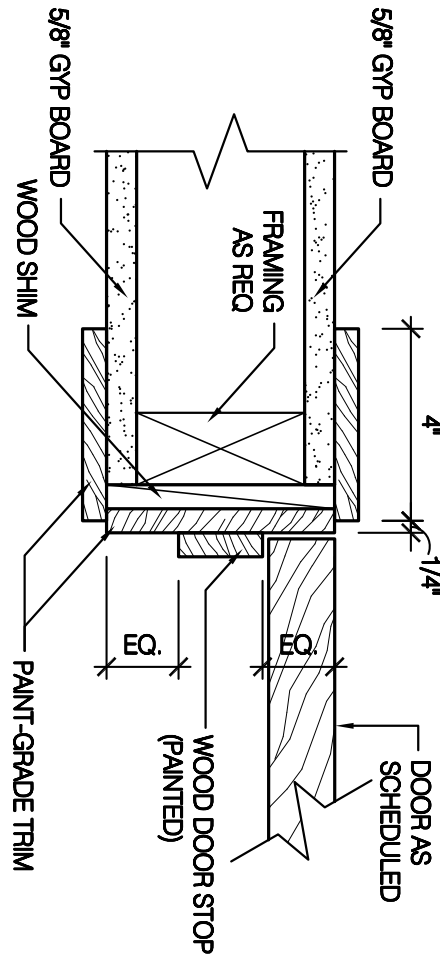
H1 (ALL BEDROOM & BATHROOM DOORS)

- HINGES STAINLESS STEEL FINISH
  - 1 PRIVACY LOCKSET OMNIA: STAINLESS STEEL #12 US32D
  - 1 HING STOP DELTANA: AHP - US32D / GRAY BUMPER OR
  - 1 WALL STOP DELTANA BDS460 ATTACHED TO WALL BASE
- H2 (ALL NON-PRIVACY DOORS)
- HINGES STAINLESS STEEL FINISH
  - 1 PASSAGE LOCKSET OMNIA: STAINLESS STEEL #12 US32D
  - 1 HING STOP DELTANA: AHP - US32D / GRAY BUMPER OR
  - 1 WALL STOP DELTANA BDS460 ATTACHED TO WALL BASE

H3 (ALL BI-FOLD DOORS)

- HINGES STAINLESS STEEL FINISH
- 2 DOOR PULLS 36" STRAIGHT ROUND LADDER PULL-US32D
- 1 BALL CATCH DELTANA: AHP - US32D / GRAY BUMPER OR
- 1 HING STOP DELTANA BDS460 ATTACHED TO WALL BASE

B1 DOOR HARDWARE



A1 DETAIL

3" = 1'-0"