35 WEST BR0ADWAY (300)S **INTERIOR** 9 \geq **EXISTING** SPACE

CEILING ELEVATION	REFERENCE NOTE KEY	DOOR NUMBER		ROOM IDENTIFICATION	
CEILING TYPEO'-O" A		00	ROOM NAME ————————————————————————————————————		SYMBOLS

ELEVATION	ELEVATION ITEM T.O. BEARING
	ELEVATION HEIGHTEL: 129'-4"
BUILDING SECTION	SECTION NO. A0
	SHEET NO. A1
WALL SECTION	SECTION NO. A0
	SHEET NO. A1
DETAIL	DETAIL NO. A0
	SHEET NO. A1
INTERIOR ELEVATION	
	SHADE INDICATES ELEVATED WALL 1
	ELEVATION NO. $\frac{4}{4}$ $\frac{A0}{A1}$ 2
	SHEET NO.

BUILDING ELEVATION

WALL NO.

ELEVATION NO.

SHEET NO.

			_			J														1																												
DN.	DISP.	DIM.	DIA.	DET.	D.F.	DEPT.	DBL.	C	CTR	CORR.	CONT.	CONST.	CONN.	CONF.	CONC.	COMP.	COL.	CLR.	CLO.	CLKG.	CLG.	C.I.	CER.	CEM.	CALCS.	CAB.		вот.	B.O.	BLK.	BLDG.	BD.	ASPH.	ARCH.	APPROX.	ALUM.	AGGR.	AFF	ADMIN.	ACCOMM	ACOUS.	(N)	(E)	l+	# 5	a to	@	_∞
DOWN	DISPENSER	DIMENSION	DIAMETER	DETAIL	DRINKING FOUNTAIN	DEPARTMENT	DOUBLE	(CENTER	CORRIDOR	CONTINUOUS	CONSTRUCTION	CONNECTION	CONFERENCE	CONCRETE	COMPUTER	COLUMN	CLEAR	CLOSET	CAULKING	CEILING	CASTIRON	CERAMIC	CEMENT	CALCULATIONS	CABINET		BOTTOM	BOTTOM OF	BLOCKING	BUILDING	BOARD	ASPHALT	ARCHITECT OR ARCHITECTURAL	APPROXIMATE	ALUMINUM	AGGREGATE	ABOVE FINISH FLOOR	ADMINISTRATION	ACCOMMODATION	ACOUSTICAL	NEW	EXISTING	PLUS OR MINUS	POUND OR NUMBER	CENTER LINE	AT	AND
SYS.	SYMB.	SYM.	SUSP	STOR.	STL.	STD.	SQ	SPEC.	SIM	SHT.	S.F.	SCHED.	SECT.	S		R.O.	RM.	REQ.	REINF.	REF.	R.D.	RCP	RAD		PT.	PLYWD.	PL.		OPP.	OPNG.	0.D.	0.C	N.T.S.	NOM.	NO.	N.I.C.	Z		MTL.	MTD.	<u>NN</u>	MFR.	MBR.	MECH.	MAX	<u>:</u>		LAM.
SYSTEM	SYMBOL	SYMMETRICAL	SUSPENDED	STORAGE	STEEL	STANDARD	SQUARE	SPECIFICATION	SIMII AR	SHEET	SQUARE FOOT	SCHEDULED	SECTION	SOUTH		ROUGH OPENING	ROOM	REQUIRED	REINFORCED	REFRIGERATOR	ROOF DRAIN	REFLECTED CEILING PLAN	RADIUS		POINT	PLYW00D	PLATE		OPPOSITE	OPENING	OUTSIDE DIAMETER	ON CENTER	NOT TO SCALE	NOMINAL	NUMBER	NOT IN CONTRACT	NORTH		METAL	MOUNTED	MINIMUM	MANUFACTURER	MEMBRANE	MECHANICAL	MAXIMUM	LIGHT		LAMINATE
		_,						· · ·	~				_			_			-				٠.٠	,																								

WALL TYPE

WINDOW TYPE

APPROPRIAT		TELEVISION	T.V.	ELEVATOR	-
ALL SUBCON	16.	TOP OF WALL	W O T	ELECTRICAL	-
TIMES DURIN		TOP OF ROOF	T.O.R.	ELEVATION	
PROTECTIVE	15.	T.O.STEEL	T.O.S.	EXPANSION JOINT	
KUBBISH AS		TOP OF	Т.О.	EACH	
CONTRACTO	14	THICK	THK.	EAST	
CONSTRUCT		TONGUE AND GROOVE	T&G		
CONTRACTO	13	TELEPHONE	TEL.	DRAWER	-
	·	TOP OF CURB	T.O.C.	DRAWINGS	S
OMILIED, NO				DRAWING	-
THE REQUIRE		SYSTEM	SYS.	DOWN	
WINDOWS, D		SYMBOL	SYMB.	DISPENSER	
CONTRACTO	12.	SYMMETRICAL	SYM	DIMENSION	
JOB SITE, IN		SUSPENDED	SUSP.	DIAMETER	
CONTRACTO	<u></u>	STORAGE	STOR.	DETAIL	
DISCONNECT		STEEL	STL.	DRINKING FOUNTAIN	
ENCOUNTER		STANDARD	STD.	DEPARTMENT	•
CONTRACTO	10.	SQUARE	SQ.	DOUBLE	
CONTRACTO	<u>9.</u>	SPECIFICATION	SPEC.		
NOT USED	<u>.</u>	SIMILAR	SIM.	CENTER	
WITH THE W		SHEET	SHT.	CORRIDOR	ىد
REGARDING ,		SQUARE FOOT	SF	CONTINUOUS	
THE CONTRA		SCHEDULED	SCHED.	CONSTRUCTION	<u>3</u>
SHALL GUNF			0 -		=

COMPLETION OF THE WORK, SHALL BE PROVIDED AS INDICATED ON THE DRAWINGS. SUCH ITEMS SHALL BE OF TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO SIMILAR ITEMS IN THE	ITEMS OF EQUIPMENT, FIXTURES, AND MATERIALS NOT DEFINITELY SPECIFIED HEREIN, BUT NECESSARY FOR	REMOVE, REPLACE, AND REPAIR UNSATISFACTORY WORK AT NO ADDITIONAL COST TO THE OWNER.	IS NOT COMPLETED IN THIS FASHION MAY BE REJECTED BY THE OWNER, THUS REQUIRING CONTRACTOR TO	ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE, TRUE, AND IN PROPER ALIGNMENT. ALL WORK THAT	OF THE VARIOUS TRADES INVOLVED. ALL WORK SHALL BE PERFORMED IN A WORKWANSHIP LIKE MANNER.	WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST AND ACCEPTED PRACTICES	CRAFTSPEOPLE, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE	CONTRACTOR IS TO ENSURE THAT ALL SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS,	APPROPRIATE POWER TO MECHANICAL AND ANY OTHER EQUIPMENT.	ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW THE ENTIRE SET OF CONSTRUCTION DRAWINGS TO NOTE ALL	
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HALL VERIFY THAT ACCESS PANELS ARE INSTALLED IN WALLS AND TYPE CEILING WHERE JUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE REQUIRED. CONTRACTOR IS TO CLEAN ALL SURFACES EXPOSED TO VIEW. REMOVE TEMPORARY LABELS, REIGN MATERIALS. POLISH TRANSPARENT AND GLOSSY SURFACES, VACUUM CARPETED AND
USTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE REQUIRED.
CONTRACTOR IS TO CLEAN ALL SURFACES EXPOSED TO VIEW. REMOVE TEMPORARY LABELS,
REIGN MATERIALS. POLISH TRANSPARENT AND GLOSSY SURFACES, VACUUM CARPETED AND
HALL PROVIDE SOLID BLOCKING AS REQUIRED FOR FASTENING OF ALL INTERIOR AND EXTERIOR

CONCRETE

GYPSUM BOARD

NEW STUD WALL

AMERICAN SOCIETY FOR TESTING AND MATERIALS

ORK INSTITUTE

25.

AMERICAN NATIONAL STANDARDS INSTITUTE

ITE OF ARCHITEC

23

22

EXISTING STUD WALL

RMAL AND SOUND INSULATION AND COVERINGS OVER PIPE AND TUBING WHICH ARE INSTALLED IN CEALED PLENUM SPACES SHALL BE TESTED IN ACCORDANCE WITH ASTM E 84 AND HAVE A FLAME SPREAD -25 AND A SMOKE INDEX OF 0-50.

CCEPTED: AS ACCEPTED BY THE OWNER OR DESIGNER.
IPPROVED EQUAL: AS APPROVED BY THE OWNER OR DESIGNER. AS BEING OF EQUIVALENT QUALITY,
ITILITY, AND APPEARANCE.
S APPLICABLE: AS APPROPRIATE FOR THE PARTICULAR CONDITION, CIRCUMSTANCE, OR SITUATION.

- AS REQUIRED: AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERALLY ACCEPTED CONSTRUCTION PRACTICES.

- DIMENSIONS ARE SHOWN FROM FACE OF FINISH TO FACE OF FINISH, AND INCLUDE FINISH
- DIMENSIONS NOTED "CLEAR" OR "CLR." MUST BE PRECISELY MAINTAINED. CONTRACTOR SHALL NOT ADJUST THESE DIMENSIONS WITHOUT WRITTEN INSTRUCTION FROM THE DESIGNER.
- DO NOT SCALE DRAWINGS FOR ANY REASON. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE DESIGNER BEFORE CONTINUING WITH CONSTRUCTION.
- ENLARGED DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS AT ALL TIMES, U.N.O. IRACTOR SHALL COORDINATE AND VERIFY WITH OWNER OR ARCHITECT ON FINAL SELECTION, STYLE, HES, ETC. FOR ALL CABINET WORK, COUNTER TOPS, MILLWORK, DOORS, APPLIANCES, PLUMBING JRES, LIGHT FIXTURES, ETC. PRIOR TO ORDERING AND INSTALLATION. PROVIDE SAMPLES UPON REQUEST.

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CONTACT: CATHY TILBY

EMAIL: TWENGINEERING@MSN.COM

PHONE: (801) 943-2705

TW ENGINEERING ASSOCIATES

MECHANICAL/ELECTRICAL/PLUMBING ENGINEER:

- OR SHALL COMPLY WITH CURRENT APPLICABLE LOCAL ORDINANCES FOR UTILITY SERVICES.
 OR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES. WHERE
 RED, MAKE ALL NECESSARY ARRANGEMENTS FOR SUPPORT, SHORE-UP, REROUTE OR UTILITY
 COMPANIES. OR SHALL BE, AT ALL TIMES, SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE NCLUDING THE SAFETY OF PERSONS AND PROPERTY.
- E MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL ING CONSTRUCTION. NO MUD, SILT, DEBRIS, ETC. IS ALLOWED ON PUBLIC OR ADJACENT PROPERTY. OR OF EACH TRADE SHALL KEEP THE PREMISES CLEAN AT ALL TIMES AND SHALL REMOVE ALL SOFTEN AS REQUIRED FOR THE CONSTRUCTION AND FOR CONNIVANCE OF THE OWNER.

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EXITIN

IG PLAN 4th FLOOR

21.

20.

19

- THERMAL AND SOUND INSULATION AND COVERINGS WHICH ARE INSTALLED IN CONCEALED AND EXPOSED SPACES AND AS COVERINGS OVER PIPE AND TUBING SHALL BE TESTED IN ACCORDANCE WITH ASTM E 84 AND HAVE A FLAME SPREAD OF 0-25 AND A SMOKE INDEX OF 0-450.
- ALL FIRE RATED ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH ASTM E 119. FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.

- DIRECTED: AS INSTRUCTED BY THE OWNER OR ARCHITECT IN WRITING. SATISFACTORY: TO THE SATISFACTION OF THE OWNER OR ARCHITECT. TYPICAL: IDENTICAL FOR ALL SUCH CONDITIONS, U.N.O.
- SIMILAR: COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. DIFFERENCES CAN BE INFERRED FROM OTHER INFORMATION INDICATED. VERIFY DIMENSIONS AND ORIENTATIONS.
- FURNISH: SUPPLY ONLY; OTHERS WILL INSTALL.
 INSTALL: INSTALL ITEMS FURNISHED BY OTHERS.
 PROVIDE: FURNISH AND INSTALL.
 SALVAGE: THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE RE-USE OR DELIVERY TO OWNER.

DIMENSIONS MARKED V.I.F. SHALL BE "VERIFIED IN FIELD" BY THE CONTRACTOR

CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES, AND CHECK GOVERNING AUTHORITIES SPECIFICATIONS FOR CONSTRUCTION, INCLUDING REMOVAL OR RELOCATION OF UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS, U.N.O.

CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION STRICTLY ADHERES TO ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS, AS WELL AS THE STANDARD OF CURRENT INTERNATIONAL BUILDING CODE AND INTERNATIONAL RESIDENTIAL CODE.

CONTRACTOR SHALL VERIFY FIELD CONDITIONS, DIMENSIONS AND EQUIPMENT LOCATIONS. CONTRACTOR SHALL CONFIRM THAT THE WORK SHALL BE ACCOMPLISHED AS SHOWN, PRIOR TO PROCEEDING WITH WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM OWNER OR ARCHITECT REGARDING ANY QUESTIONS ABOUT THE EXISTING CONDITIONS AND / OR DESIGN INTENT BEFORE PROCEEDING WITH THE WORK.

OR SHALL MAINTAIN SAFE METHODS OF EGRESS AND CIRCULATION AT ALL TIMES DURING TION.

CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR FASTENING OF ALL INTERIOR AND EXTERIOR TRIM, FINISHES, DOOR STOPS, HARDWARE, HANDRAILS, CASEWORK, TOILET ACCESSORIES, TOWEL RACKS, LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT, ETC. AND SHALL COORDINATE AND PROVIDE ALL FRAMING AND BRACING AS NECESSARY FOR INSTALLATION OF N.I.C. EQUIPMENT INDICATED.

FIRE STOPPING MATERIALS INSTALLED ARE REQUIRED TO HAVE LABELS ON BOTH SIDES OF THE PROTECTED PENETRATION.

INTERIOR WALL FINISHES WHICH ARE TEXTILES AND CEILING TILE SHALL BE TESTED IN ACCORDANCE WITH ASTM E 84 AND HAVE A FLAME SPREAD OF 0-25 AND A SMOKE INDEX OF 0-450.

GENERAL NOTES

PROJECT INFORMATION

ABBREVIATIONS

COUNTY CITY INTERIOR WALL FINISHED AREA = 1870 S.f.BALCONY/PATIO = 145 S.f.SUITE INFORMATION SALT LAKE CITY, UTAH SALT LAKE COUNTY, UTAH

OCCUPANCY CLASSIFICATION
TYPE: R-2 (NO CHANGE OF USE)

APPLICABLE CODES

CONTACT: LOUIS ULRICH
STEVEN WALTERS LU'NA DESIGN STUDIO, LLC PHONE: LOUIS@LUNAARCHITECTS.COM STEVEN@LUNAARCHITECTS.COM 801.350.2046

CONTACTS

ELECTRICAL
E0.1
E1.1
E1.2

POWER PLAN

ELECTRICAL LEGEND,

LIGHTING PLAN
ELECTRICAL NOTES
ELECTRICAL NOTES

TYPE OF CONSTRUCTION

TYPE - 3B (PER TABLE 503 & CORE & SHELL PERMIT)

BUILDING IS FIRE SPRINKLED

CORE AND SHELL PERMITTED PREVIOUSLY. ALL CONDITIONS OF THAT PERMIT

MECHANICAL M-1.1

MECHANICAL PLAN

A-5.2 A-5.1

DOOR & WINDOW SCHEDULE

CEILING DETAILS WALL SCHEDULE

A-2.1 A-5.0

INTERIOR ELEVATIONS

A-2.0

REFLECTED CEILING & POWER PLAN FINISH - MILLWORK & PLUMBING FIXTURE PLAN INTERIOR ELEVATIONS

M-2.1

MECHANICAL NOTES

PLUMBING P-0.1 P-1.1

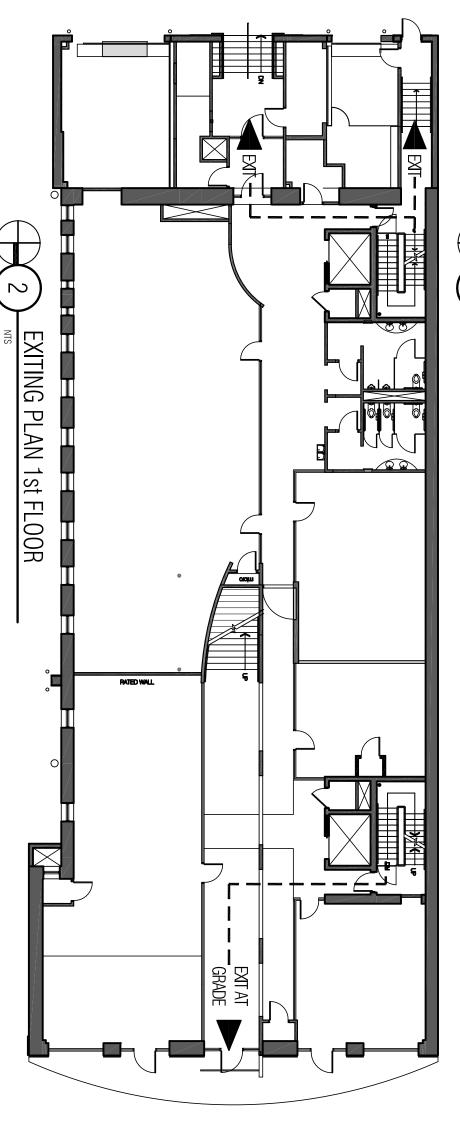
DETAILS

P-1.2 P-2.1

PLUMBING LEGEND, SCHEDULES, & DET/ PLUMBING PLAN DWV PLUMBING PLAN WATER & GAS PLUMBING & FIRE PROTECTION NOTES

2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL MECH. CODE (IMC)
2015 INTERNATIONAL PLUMBING CODE (IPC)
2014 NATIONAL ELECTRIC CODE (NEC) 2015 INTERNATIONAL FIRE CODE
2012 ENERGY CONSERVATION CODE (IECC)
2012 INTERNATIONAL FUEL GAS CODE (IFGC)
ADA ACCESSIBILITY CODE - ICC / ANSI A-117.

 \geq EXITING PLAN



KITCHEN

/IBING CODE

INTERNATIONAL MECHANICAL CODE

INTERNATIONAL BUILDING CODE

NATIONAL ELECTRICAL CODE NATIONAL FIRE PROTECTION AGENCY

JNDERWRITERS LABORATORIES

GENERAL NOTES:

1. IT IS THE REQU IT IS THE REQUIREMENT OF THE CONTRACTOR AND SUBCONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS AND ANTICIPATE THE COORDINATION BETWEEN TRADES BEFORE SUBMITTING A BID. MUST BE MADE TO THE INTENT OF THE DRAWINGS WITH CLARIFICATION SOUGHT FROM THE ARCHITECT. IF A CONFLICT OF CONSTRUCTABILITY EXISTS, REFERENCE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO USE OR RE-USE OF THESE DOCUMENTS SHALL BE PERMITTED UNLESS AUTHORIZED IN WRITING BY Iu'na design studio, I.I.c. WITH APPROPRIATE COMPENSATION. ISSUE DATE: ISSUE DATE: GENERAL NOTES SHEET & COVER HT© 2017

35 WEST BROADWAY (300 S) SUITE 404

PERMIT SET - CONSTRUCTION DOCUMENTS

UNIT #404

SALT LAKE CITY, UTAH 84101



ARCHITECTURAL
G-1.0 COVER SHEET

SHEET

INDEX

DEMO PLAN

FLOOR PLAN &

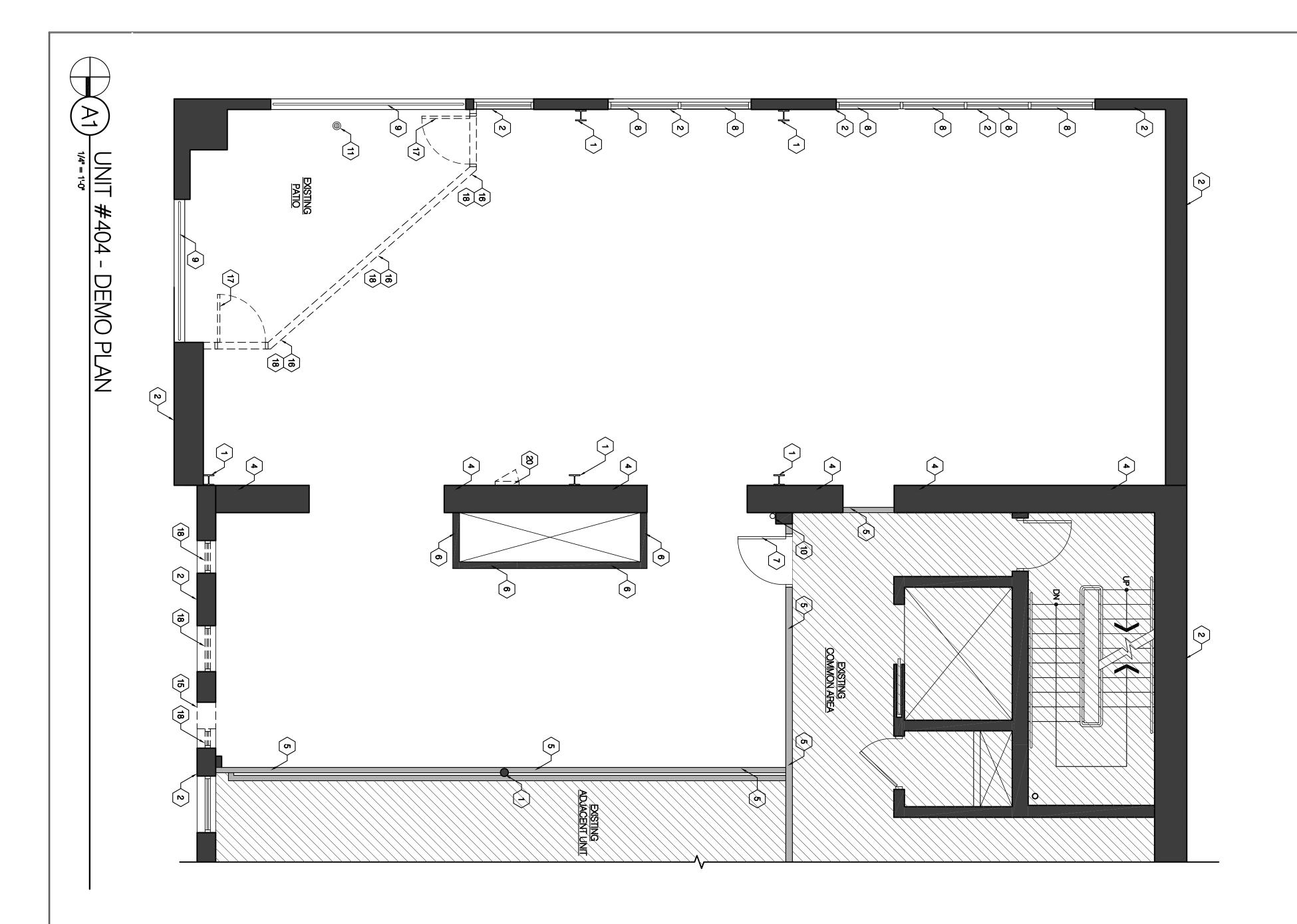
DIMENSION PLAN





10/12/17 PERMIT SET

CONTRACTOR TO CONTACT THE UTAH DIVISION OF AIR QUALITY (801) 536-4000



DEMOLITION NOTES:

- 1. CONTRACTOR IS TO CONTACT THE UTAH DIVISION OF AIR QUALITY (801) 536-4000.
 2. CONTRACTOR IS TO ABIDE BY ALL REQUIREMENTS SET FORTH BY THE UTAH DIVISION OF AIR QUALITY 2. CONTRACTOR IS TO ABIDE BY ALL REQUIREMENTS SET FORTH BY THE UTAH DIVISION OF AIR QUALITY 3. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR U.N.O. ALL TRASH AND RUBBISH SHALL BE DISPOSED OF OFF THE OWNERS PROPERTY.
 4. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING OR ANY MODIFICATION PROCESS THAT MAY INTERFERBE WITH ITS STRUCTURAL INTEGRITY.

 4. CONTRACTOR STRUCTURAL MEMBERS CONTRACTOR TO IMMEDIATELY CONTACT ARCHITECT. ALL EXISTING STRUCTURAL MEMBERS. CONTRACTOR TO IMMEDIATELY CONTACT ARCHITECT. ALL EXISTING STRUCTURAL MEMBERS. CONTRACTOR TO IMMEDIATELY CONTACT ARCHITECT. ALL EXISTING STRUCTURAL MEMBERS. CONTRACTOR TO IMMEDIATELY CONTACT ARCHITECT. ALL EXISTING STRUCTURAL MEMBERS. CONTRACTOR TO IMMEDIATELY CONTACT ARCHITECT. ALL EXISTING STRUCTURAL MEMBERS. CONTRACTOR TO IMMEDIATELY CONTACT ARCHITECT. ALL EXISTING STRUCTURAL MEMBERS. CONTRACTOR AND ARE NOT THE DEMOVED OR ALTERED AS PART OF THIS DEMOULTION PLAN.

 5. REMOVAL INCLUDES FINISHES, PLUMBING, MICCHANICAL AND ELECTRICAL SYSTEMS CONTAINED THERED. A STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS, CASEWORK, WINDOWS, FRAMES AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PROTECTION AND AND ANY STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK AND PREPARE SURFACES TO RECEIVE NEW FINISH.

 6. DEMOLITION WORK SHALL TAKE PLACE IN ACCORDANCE WITH ALL CODES AND ORDINANCES AS SET FORTH FOR THE PROTECTION AND AND ANY STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALL FLOORS ARE TO RECEIVE NEW FINISH.

 7. IT IS INTENDED THAT REMOVAL OF ALL MAJOR MECHANICAL PLUMBING AND ELECTRICAL ITEMS SHALL BY THE GENERAL CONTRACTOR.

 8. REMOVAL OF PURBLEMBING FINISHES INCLUDES THE CAPPING OF ALL WATCH AND SHARE AFFECTED BY THE REMOVAL OF HAVE AND AL

8

7

CONTRACTOR SHALL REPAIR OR REPLACE ANY, AND ALL, EXISTING TO REMAIN FINISHES WHICH ARE DAMAGED DURING DEMOLITION, I.E. CEILING GRID, CEILING TILE, WALL COVERING, FLOOR COVERINGS, ETC. WALL, FLOOR AND CEILING DEMOLITION INCLUDES, BUT NOT LIMITED TO ANY AND ALL MASTICS, APPLIED FINISH MATERIALS, SHELVING, CABINET WORK, BRACKETS, ANCHORS, FASTENERS, BASES, CURBS AND FIXTURES THAT INTERFERE WITH NEW CONSTRUCTION.

WHERE EXISTING CONSTRUCTION IS FOUND TO CONTAIN ASBESTOS, REMOVAL, DISPOSAL AND REPLACEMENT OF THE ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS. REPLACE THE ASBESTOS MATERIAL WITH NEW MATERIAL AS APPROVED BY OWNER.

10.

EXISTING POWER PANEL, TO BE REMOVED AND RELOCATED. RE: ELECTRICAL.

EXISTING EXTERIOR STUD WALL, TO BE REMOVED. PATCH AND REPAIR FLOOR AND CEILING AS REQUIRED.

EXISTING DOOR, TO BE REMOVED.

EXISTING GLAZING, TO BE REMOVED. PATCH, REPAIR, AND REINFORCE REMAINING BRICK TO RECEIVE NEW GLAZING OR NEW INFILL WALL

EXISTING FLOOR DRAIN, TO REMAIN. FLOOR DRAIN TO BE INSPECTED, CLEARED OF ANY OBSTRUCTIONS, AND CLEANED OUT AS REQ. TO ENSURE PROPER DRAINING.

NOT USED.

NOT USED.

NOT USED.

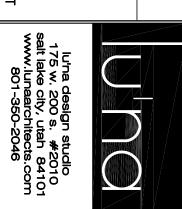
EXISTING EXTERIOR MASONRY WALL, TO BE REMOVED. PATCH, REPAIR, AND REINFORCE REMOVED. PATCH, REPAIR, AND REINFORCE REMAINING BRICK TO RECEIVE NEW GLAZING OR NEW INFILL WALL.

COORDINATE W/ WINDOW SCHEDULE FOR NEW WINDOW DIMENSIONS.

EXISTING SHAFT WALL, TO REMAIN. SHAFT WALL TO BE INSPECTED, PATCHED AND REPAIRED AS REQUIRED TO MAINTAIN A CONTINUOUS FIRE RATING AS REQUIRED. EXISTING DOOR, TO REMAIN. EXISTING GLAZING, TO REMAIN. EXISTING GUARDRAIL, TO REMAIN. CLEAN AND PREP FOR NEW PAINT.

EXISTING PLUMBING CLEAN OUT, TO REMAIN.

EXISTING STEEL COLUMN, TO REMAIN. EXISTING EXTERIOR WALL, TO REMAIN. NOT USED. XISTING INTERIOR WALL, TO REMAIN. XISTING INTERIOR DEMISING WALL, TO EMAIN.



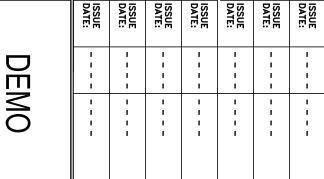
REFERENCE NOTES:

1. CONTACT ARCHITECT FOR ANY CLARIFICATION REQUIRED, INCLUDING POSSIBLE DISCREPANCIES ON THE DRAWINGS.

2. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING ANY WORK.

3. GENERAL CONTRACTOR IS RESPONSIBLE FOR FULL COMPLIANCE WITH GOVERNING CODES AND REGULATIONS, COORDINATION OF SUBCONTRACTORS, SAFETY AT THE SITE AND PROTECTION OF WORK COMPLETED. \nearrow

DEMO PLAN



WALL LEGEND

DATE:

DEMO WALL

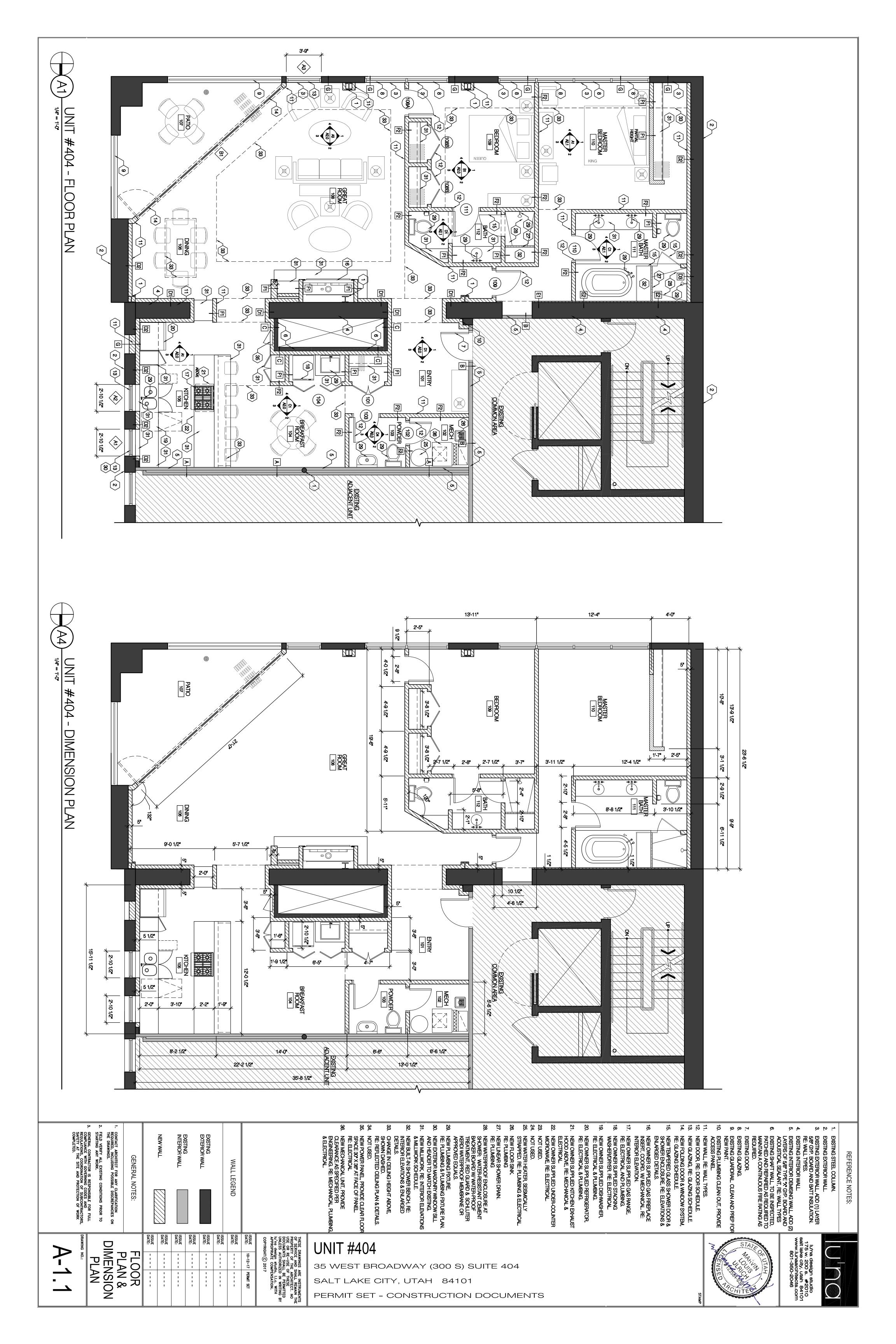
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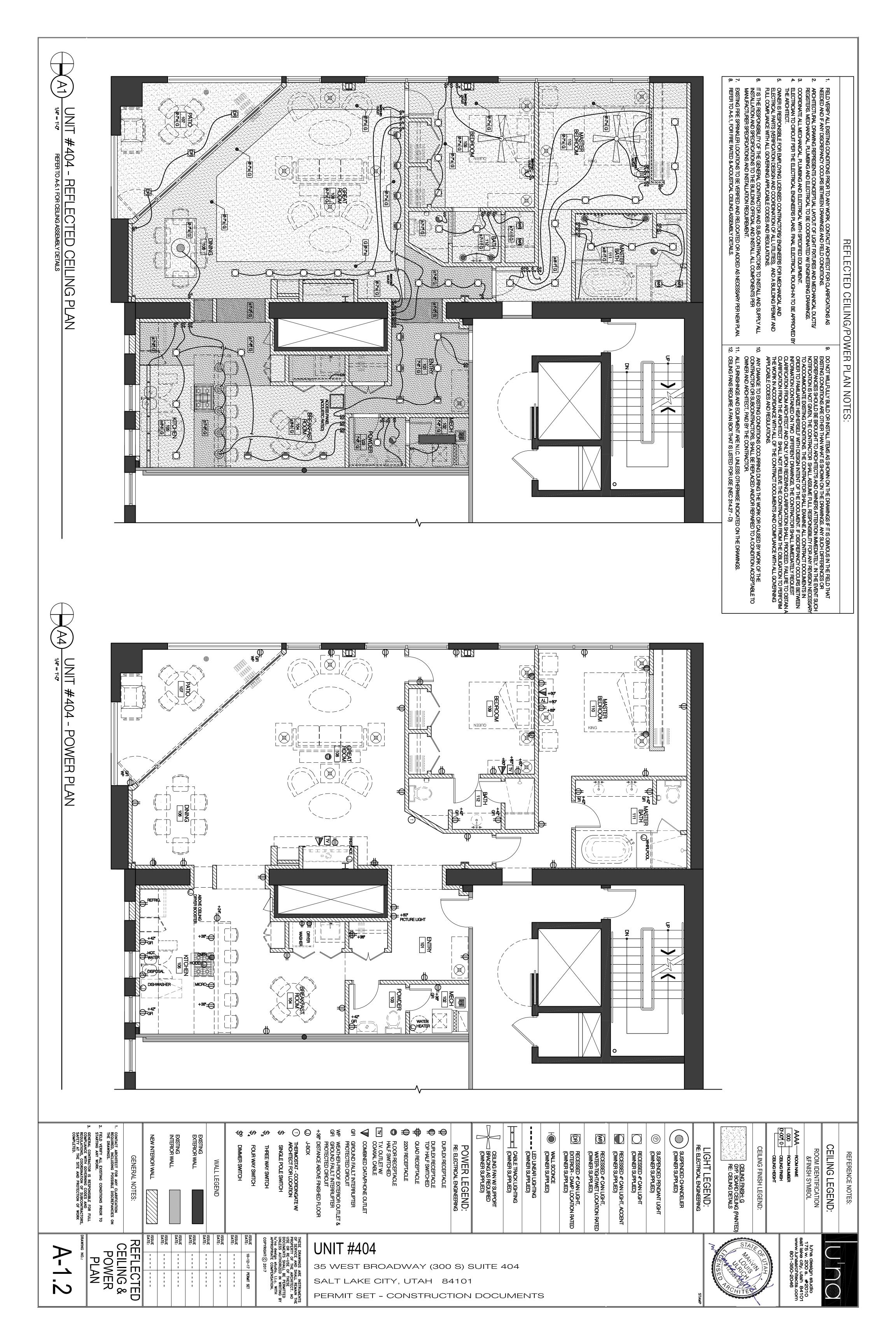


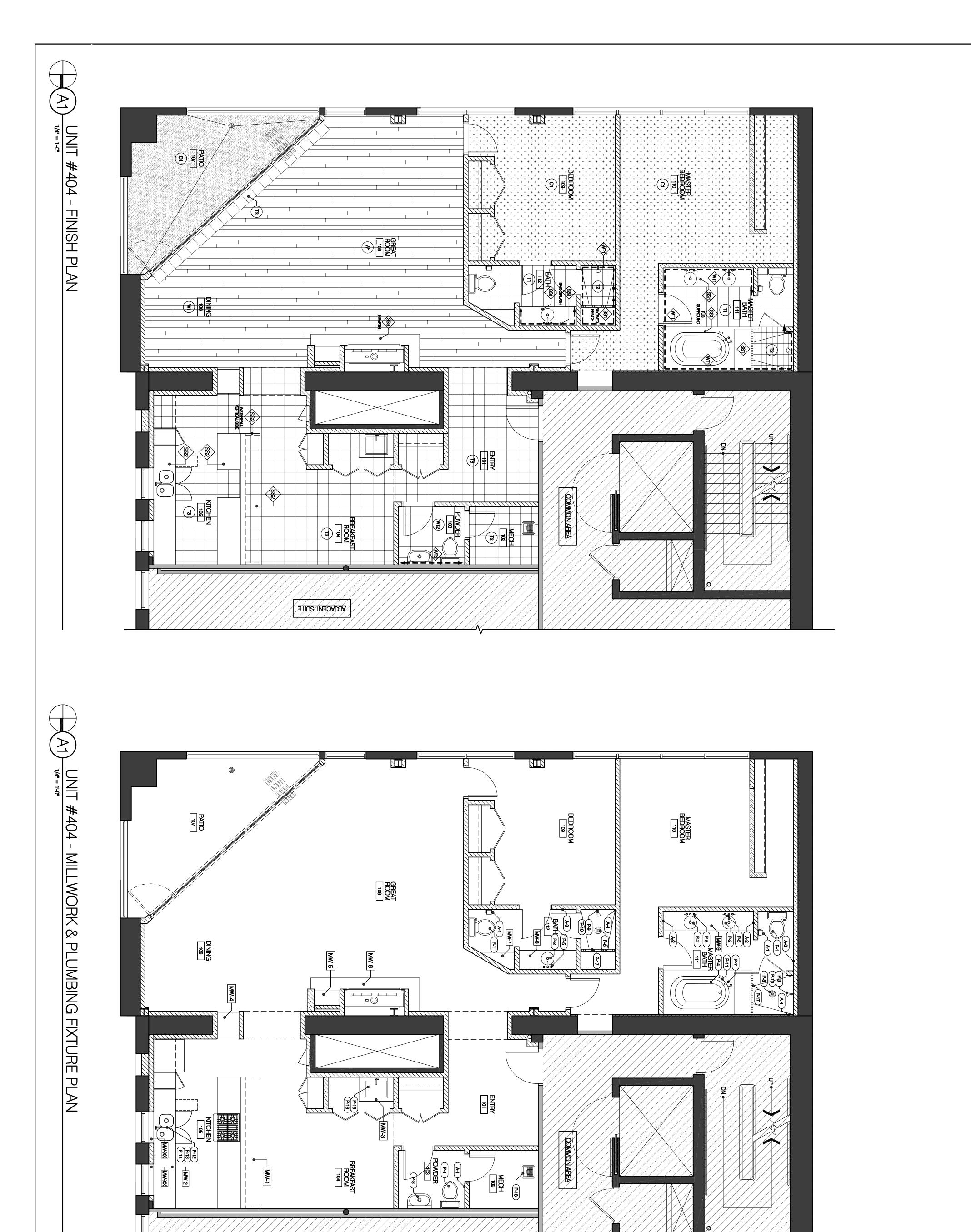
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35 WEST BROADWAY (300 S) SUITE 404 SALT LAKE CITY, UTAH 84101 PERMIT SET - CONSTRUCTION DOCUMENTS







ADJACENT SUITE TILE NOTES:

- ALL WALL TILE TO CONTINUE TO FLOOR (NO BASE)
--WALL TILE (WHERE OCCURS) TO BE LOCATED ABOVE
COUNTERS AS BACK-SPLASH. WHERE NO TILE OCCURS
QUARTZ TO BE BACK-SPLASH.

- ALL TILE TO GYP. BOARD TRANSITIONS SHOULD HAVE A
SCHLUTER STRIP. COORDINATE W/ ARCHITECT FOR
PROFILE & FINISH. - POLYURETHANE
- PROVIDE NEW EXTERIOR GRADE PLYWOOD SUBSTRATE
INSTALLED OVER EXISTING PATIO FLOOR USING
STAINLESS STEEL SCREWS, APPLY POLYESTER MESH
SEAM-TAPE AT ALL JOINTS, PER MANUFACTURER
SPECIFICATIONS.
- SLOPE FLOOR TOWARDS EXISTING FLOOR DRAIN.
BASE: 6" EXTERIOR GRADE PLYWOOD W/ GACOFLEX
PEDESTRIAN DECKING SYSTEM, - APPLY POLYESTER
MESH SEAM-TAPE AT ALL JOINTS, PER MANUFACTURER
SPECIFICATIONS. FLOORING NOTE: INSTALL A CONTINUOUS SOUND REDUCTION MAT OVER EXISTING SUB-FLOOR AND CONCRETE SLAB BEFORE PROCEEDING W/ ALL NEW FLOOR FINISH INSTALLATIONS. - 12" X 24" PORCELAIN TILE - TBD TILE NOTES: - WALL TILE TO CONTINUE TO FLOOR (NO BASE) \(\frac{\hat{8}}{\hat{8}}\) - 12" X 24" PORCELAIN TILE - DALTILE - FABRIQUE: CREME LINEN, P686 - STACKED BOND PATTERN - GROUT: FROST (MOCK-UP REQUIRED FOR APPROVAL) WOOD FLOORING:
- MAPLE, 5" BOARD
- PRE-FINISHED W/ CLEAR COAT
- SAMPLE REQUIRED FOR APPROVAL
BASE: 4" POPLAR, PAINTED WT2 LARGE FORMAT WALL TILE: (WT1) LARGE FORMAT WALL TILE: NOTE: ALL ACCESSORIES ARE OWNER SUPPLIED

A-1 TOILET PAPER HOLDER:

A-2 HAND TOWEL HOLDER:

A-3 TOWEL BAR:

A-4 SHOWER CADDIE: SUBMITTALS ARE REQUIRED FOR APPROVAL BY VACHITECT & ENGINEER. CONTACT ARCHITECT FOR ANY CLARIFICATION REQUIRED, INCLUDING POSSIBLE DISCREPANCIES ON THE DRAWINGS. GENERAL CONTRACTOR IS RESPONSIBLE FOR FULL COMPLIANCE WITH GOVERNING CODES AND REGULATIONS, COORDINATION OF SUBCONTRACTORS, SAFETY AT THE SITE AND PROTECTION OF WORK COMPLETED. 3 ಡ (_ (D1) GACOFLEX PEDESTRIAN DECKING SYSTEM: PRE- CAST CONCRETE: STAINED DARK SOLID SURFACE QUARTZ: BATHROOM SOLID SURFACE QUARTZ: KITCHEN NG CONTRACTOR TO VERIFY COMPATIBILITY OF IER SUPPLIED PLUMBING FIXTURES. ALL D FITTINGS, HOSES, VALVES TO BE VERIFIED W/RING. ELOOR TILE:
- 12" X 12" PORCELAIN TILE
- DALTILE - CITY VIEW: NEIGHBORHOOD
PARK, CY05
BASE: 4" TILE BASE ELOOR TILE:
- 12" X 12" PORCELAIN TILE
- TBD
BASE: 4" POPLAR, PAINTED FLOOR TILE:
- 6" X 6" PORCELAIN TILE
- TBD
BASE: WALL TILE CARPET: BROADLOOM
- TBD
BASE: 4" POPLAR, PAINTED ACCESSORY LEGEND: GENERAL NOTES: FINISH LEGEND: (XX) AX X THESE DRAWINGS ARE INSTRUMENTS
OF SERVICE AND SHALL REMAIN THE
PROPERTY OF THE ARCHITECT. NO
USE OR RE-USE OF THESE
DOCUMENTS SHALL BE PERMITTED
UNLESS AUTHORIZED IN WRITING BY
IU'ng design studio, I.I.C. WITH
APPROPRIATE COMPENSATION. FINISH MILLWORK & PLUMB FIXT PLAN ISSUE DATE: ISSUE DATE: ISSUE DATE: COPYRIGHT © 2017 UNIT #404 **>** 35 WEST BROADWAY (300 S) SUITE 404 SALT LAKE CITY, UTAH 84101 PERMIT SET - CONSTRUCTION DOCUMENTS

STATICON UTAH

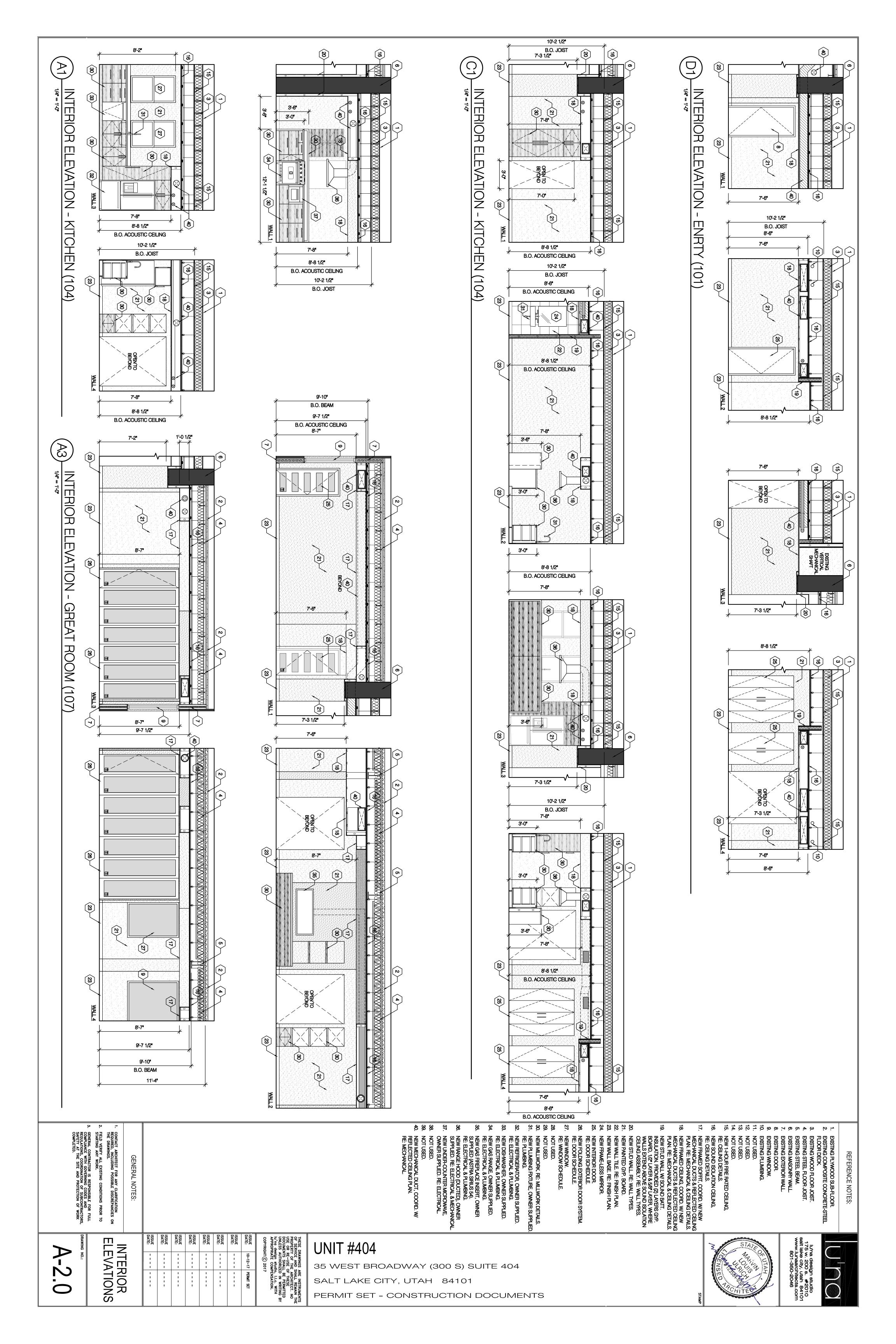
HAND HELD SHOWER: W/ VACUUM BREAKER
HAND HELD TUB: W/ VACUUM BREAKER
KITCHEN SINK:
KITCHEN FAUCET:
KITCHEN DISPOSAL:
LAUNDRY SINK: BLANCO: UNDERMOUNT
STAINLESS STEEL
LAUNDRY FAUCET:
LINEAR SHOWER DRAIN:
FLOOR SINK:

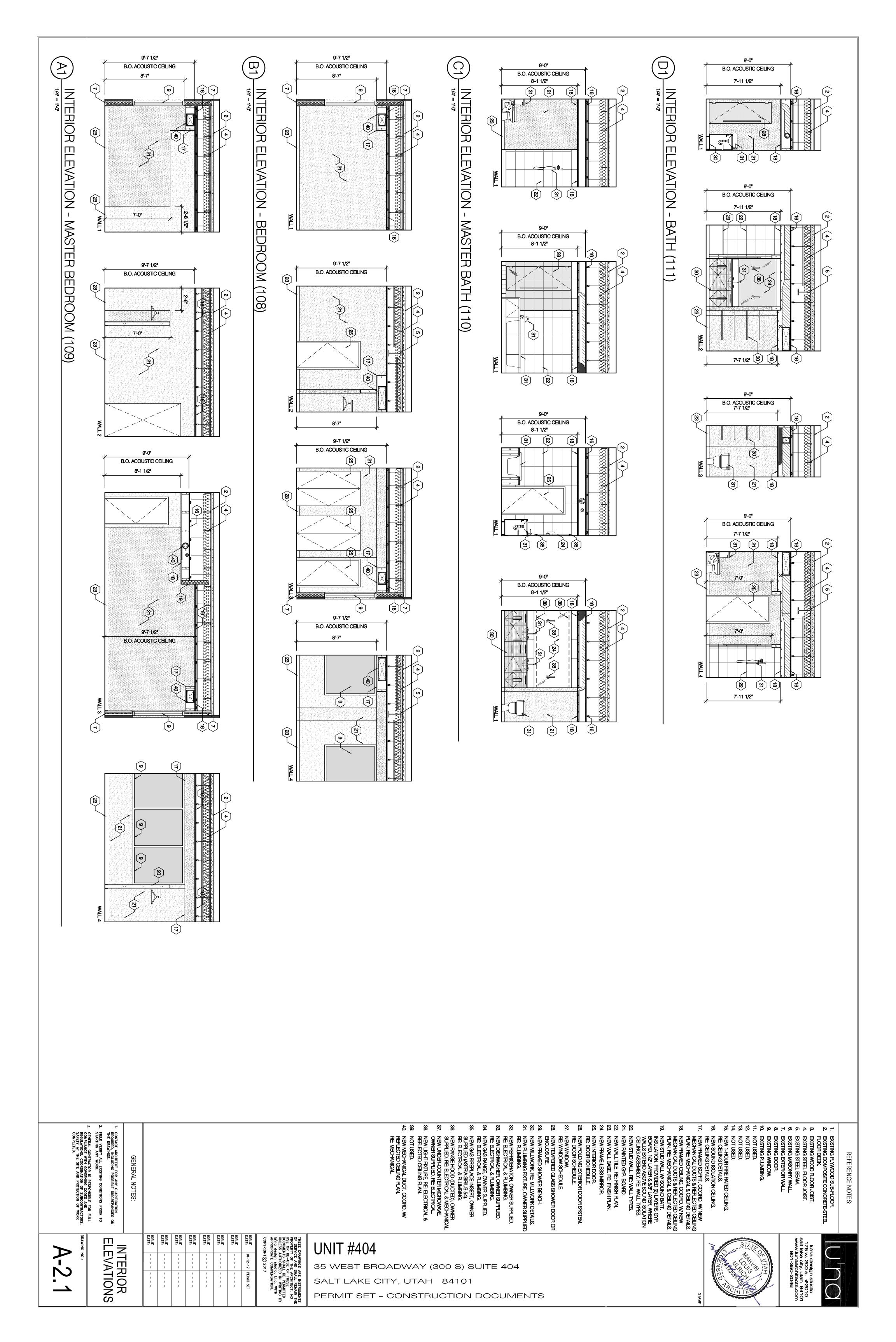


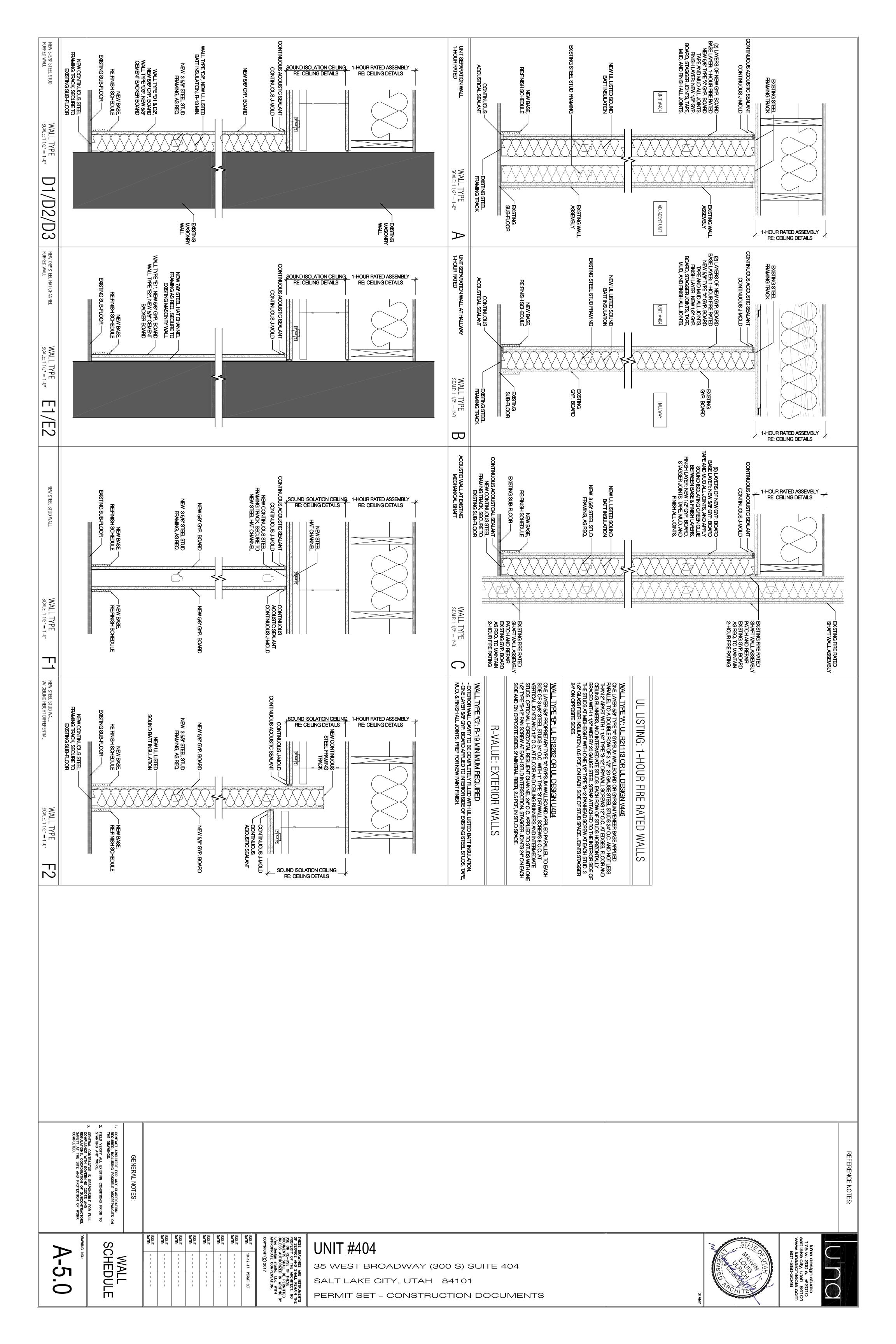
TOILET: FLOOR MOUNT SINK: WHITE, UNDERMOUNT SINK: WHITE, WALL HUNG (PROVIDE BLOCKING) WHIRLPOOL TUB:

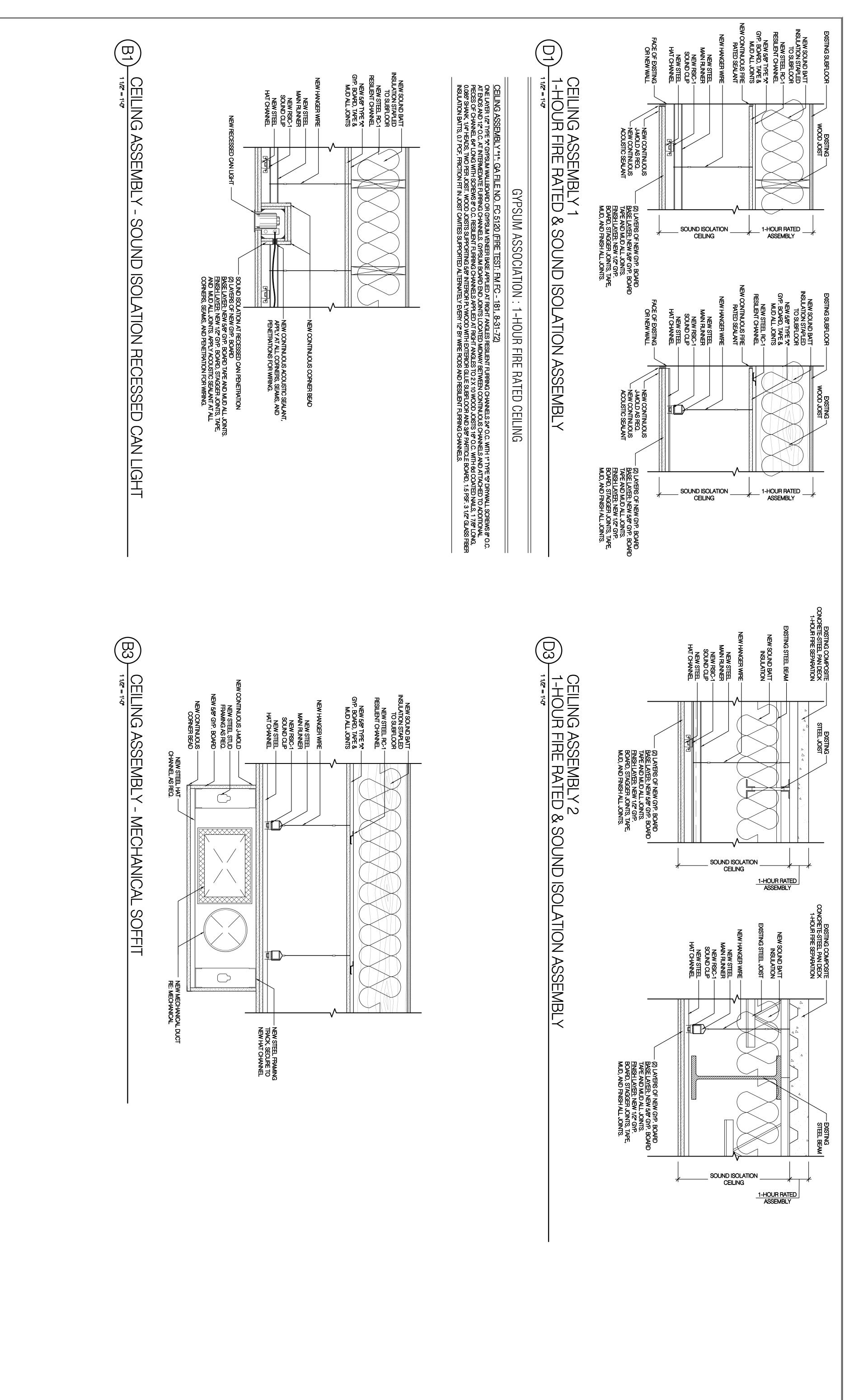
TUB FAUCET: MUST BE THERMOSTATIC OR PRESSURE BALANCE MIXING VALVE

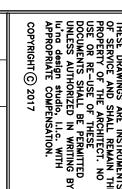
PLUMBING LEGEND: (P-xx)
NOTE: ALL FIXTURES ARE OWNER SUPPLIED
RE: PLUMBING



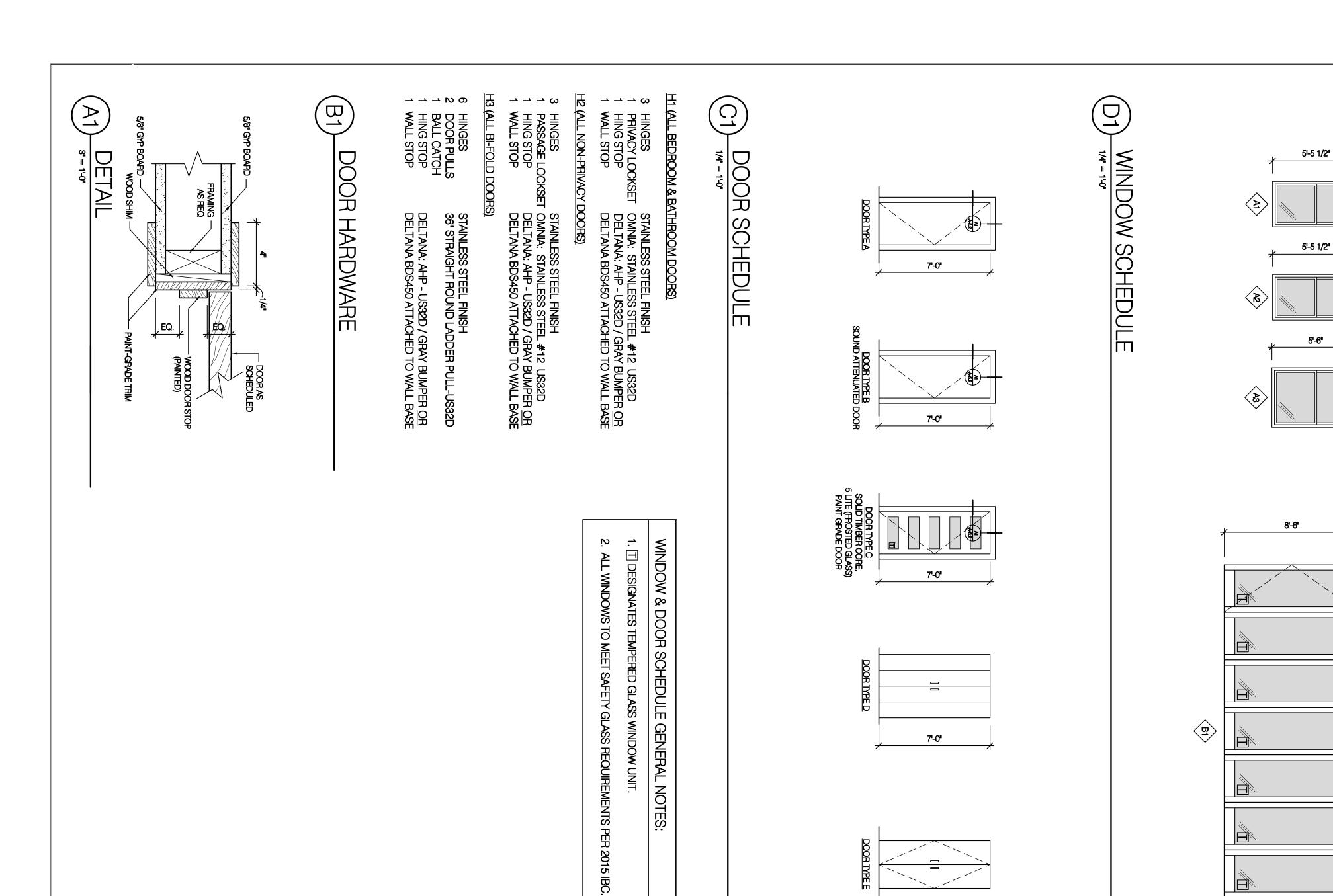












		8	DOOR					FRAME					
			SIZE			3		DETAIL - ,	DETAIL - ALL DETAILS REFERENCE	AS NOTED)	·
S S	NAME	WIDTH	HEIGHT	THICKNESS	MATERIAL	14k	TYPE	HEAD	BINAL	THRESHOLD	LABEL	GROUP	200
101	ENTRY 101	24-8	7:-0"	I	WOOD	m	WOOD	1	1	:		ዜ 3	
102	MECH 102	2-4	7-0"	I	WOOD	В	WOOD	ı	ı	:		H2	PROVIDE SOUND GASKET
103	POWDER 103	2'-8"	7'-0"	I	WOOD	>	WOOD	I	ı	:		Ħ	
104	BREAKFAST ROOM 104	5'-3"	7'-0"	I	WOOD	D	WOOD	1	ı			НЗ	
108A	BEDROOM 109	2'-8"	7'-0"	ı	WOOD	C	WOOD	1	ı			H1	
108B	BEDROOM 109	3'-8"	7'-0"	I	WOOD	Э	WOOD	-	I			КН	
111	BATH 112	2'-8"	7'-0"	I	WOOD	Α	WOOD	-	I			H1	
109	MASTER BEDROOM 110	2'-8"	7'-0"	-	WOOD	C	WOOD	1	I			H1	
110	MASTER BATH 111	2 <u>-</u> 8	7'-0"	I	WOOD	>	WOOD	I	I	!		Ħ	

						WINDOW SCHEDULE	DULE				
·>						WINDOW					
MARK (SIZE	ZE	Hi AS	FRAME /	TABE	GI ASS TYPE		DETAIL		=	NOTES
	WIDTH	HEIGHT	HEIGHT	MATERIAL	: :	CI SC	HEAD	JAMB	SILL	VALUE	3
						UNIT #404					SECURITY LOCKS ON ALL WINDOWS
A1	2'-10 1/2'	5'-5 1/2"	8'-2"	ALUMN	DOUBLE HUNG	DOUBLE HUNG DOUBLE GLAZED LOW-E INSULATED				.30 MIN.	FRAME TO MATCH EXISTING WINDOWS
A2	2'-10 1/2"	5'-5 1/2"	8'-2"	ALUMN	DOUBLE HUNG	DOUBLE GLAZED LOW-E INSULATED				.30 MIN.	FRAME TO MATCH EXISTING WINDOWS
Ą3	3-9"	5'-6"	8 <u>-</u> 6ª	ALUMN	DOUBLE HUNG	DOUBLE HUNG DOUBLE GLAZED LOW-E INSULATED				.30 MIN.	FRAME TO MATCH EXISTING WINDOWS
B1	20'-11 1/2"	8'-6"	8 <u>'</u> -6 <u>"</u>	ALUMN	FOLDING	DOUBLE GLAZED LOW-E INSULATED				.30 MIN.	FRAME TO MATCH EXISTING WINDOWS

2'-10 1/2"

2'-10 1/2"

17'-11 1/2" FOLDING PANELS

20'-11 1/2"

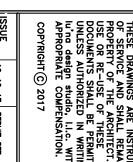
1. CONTACT ARCHITECT FOR ANY CLARIFICATION REQUIRED, INCLUDING POSSIBLE DISCREPANCIES ON THE DRAWINGS.

2. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING ANY WORK.

3. GENERAL CONTRACTOR IS RESPONSIBLE FOR FULL COMPLIANCE WITH GOVERNING CODES AND REGULATIONS, COORDINATION OF SUBCONTRACTORS, SAFETY AT THE SITE AND PROTECTION OF WORK COMPLETED.

DOOR & WINDOW SCHEDULE

GENERAL NOTES:





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