

# TENANT IMPROVEMENT

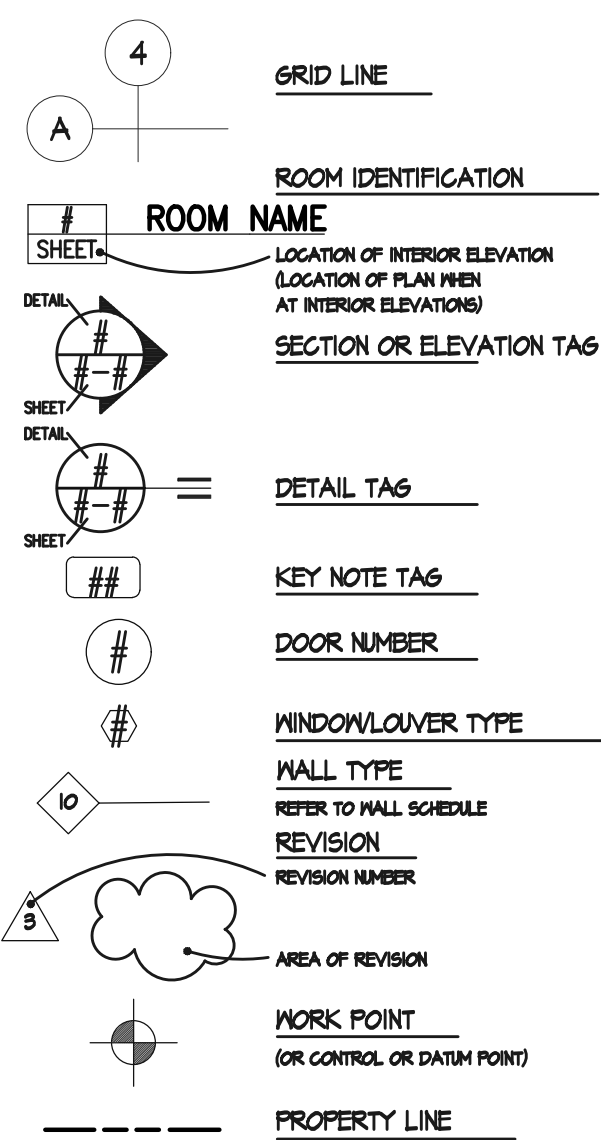
EUROPEAN  
WAX  
CENTER®

1440 S FOOTHILL DR, SUITE 140  
SALT LAKE CITY, UTAH 84108

## ABBREVIATIONS

#	And	F.	Fire	P.	Point
L	Angle	F.A.	Fire Alarm	P.V.	Point Indicator Valve
•	At	F.B.	Fire Bar	PRGST.	Pre-cast
⊙	Center Line	F.D.	Floor Drain	PL	Plate
⊘	Diameter or Round	FDG	Fire Department	PLAM	Plastic Laminate
•	Found or Number	FDH	Foundation	PLAS	Plaster
(E)	Building	F.E.	Fire Extinguisher	PLYED.	Plywood
(W)	View	F.E.	Fire Extinguisher Cabinet	PL	Plar
ACOUS.	Acoustical	F.E.G.	Fire Extinguisher	PT.	Point
A.D.	Ace Drain	FH	Fire Hydrant	P.T.D.	Paper Towel Dispenser
ADJ.	Adjustable	F.H.G.	Fire Hose Cabinet	P.T.D.R.	Combination Paper Towel Dispenser and Receptacle
AGGR.	Aggregate	FL	Flank	PUR.	Partition
AL.	Aluminum	FL.	Floor	P.T.R.	Paper Towel Receptacle
APPROX.	Approximate	FLASH.	Flashing	PUE	Public Utility Basement
ARCH.	Architectural	FLOR.	Fluorescent	Q.T.	Quarry Tile
ASB.	Asbestos	F.O.G.	Foam of Concrete	R.	Riser
ASPL.	Asphalt	F.O.S.	Foam of Stone	RAD.	Radias
ATC	Acoustical Tile Ceiling	FFRF.	Fireproof	R.D.	Roof Drain
BEH	Back Edge of Walk	F.S.	Full Size	REF.	Refr.
BD.	Board	FTB.	Foot of Foot	REG.	Regular
BTM.	Blumhouse	FUR.	Furring	REIN.	Reinforced
BLOA.	Building	FUT.	Furne	RES.	Resist
BLK.	Block	GA.	Gage	RESL.	Resilient
BLKA.	Blocking	GA.V.	Gage Valve	RM.	Room
BOT.	Bottom	GB.	Groove	R.O.	Rough Opening
CAB.	Cabinet	GR.	Groove	R.R.	Rail Rider
CAB.	Cabin	GYP.	Gypsum	R.L.	Rail
CER.	Ceramic	GRB.	Gypsum Wall Board	S.	Sash or Slope
CL.	Cast Iron	HB.	Hose Bib	S.G.	Solid Cone
CO.	Corner Guard	H.C.	Hollow Cone	S.G.D.	Sash Cover Dispenser
CLB.	Ceiling	HW.	Hardware	SCH.	Schedule
CLBA.	Ceiling	HW.	Hardware	S.D.	Sag Dispenser
CLD.	Ceiling	HW.	Hardware	SD	Storm Drain
CLR.	Ceiling	HW.	Hardware	SECT.	Section
CO	Clean Out	HR.	Horizontal	SH.	Shell
CO.	Closed Opening	HR.	Horizontal	SHR.	Shower
COL.	Column	HST.	Height	SHR.	Shower
CONC.	Concrete	ID.	Inside Diameter (Dia.)	SHR.	Shower
CON.	Connection	INS.	Insulation	SHR.	Shower
CONTR.	Construction	INT.	Interior	SND.	Sanitary Napkin Dispenser
CONT.	Continue	INT.	Interior	SND.	Sanitary Napkin Receptacle
CORR.	Corridor	JAN.	Janitor	SND.	Sanitary Napkin Receptacle
CTSK.	Counter	JAN.	Janitor	SND.	Sanitary Napkin Receptacle
CNT.	Counter	JAN.	Janitor	SND.	Sanitary Napkin Receptacle
CTK.	Counter	JAN.	Janitor	SND.	Sanitary Napkin Receptacle
CV	Check Valve	KIT.	Kitchen	SND.	Sanitary Napkin Receptacle
DL	Double	LAB.	Laboratory	SND.	Sanitary Napkin Receptacle
DVDV	Double Check	LAM.	Laminate	SND.	Sanitary Napkin Receptacle
DEPT.	Detector Check	LAV.	Lavatory	SND.	Sanitary Napkin Receptacle
DET.	Detail	LCK.	Locker	SND.	Sanitary Napkin Receptacle
DIA.	Diameter	LT.	Light	SND.	Sanitary Napkin Receptacle
DIM.	Dimension	MAX.	Maximum	SND.	Sanitary Napkin Receptacle
DIP.	Dispenser	MC.	Mechanical	SND.	Sanitary Napkin Receptacle
DN.	Down	MECH.	Mechanical	SND.	Sanitary Napkin Receptacle
D.O.	Door Opening	MEM.	Membrane	SND.	Sanitary Napkin Receptacle
DR.	Door	MFR.	Manufacturer	SND.	Sanitary Napkin Receptacle
DR.	Drawer	MH.	Manhole	SND.	Sanitary Napkin Receptacle
DS.	Downspout	MIL.	Minimum	SND.	Sanitary Napkin Receptacle
DSP.	Dry Standpipe	MIR.	Mirror	SND.	Sanitary Napkin Receptacle
DNS.	Drinking Fountains	MISC.	Miscellaneous	SND.	Sanitary Napkin Receptacle
E.	East	M.O.	Masonry Opening	SND.	Sanitary Napkin Receptacle
EA.	East	MTD.	Mountain	SND.	Sanitary Napkin Receptacle
E.L.	Elevation	MIL.	Minimum	SND.	Sanitary Napkin Receptacle
ELEC.	Electrical	MIR.	Mirror	SND.	Sanitary Napkin Receptacle
ELEV.	Elevation	N.	North	SND.	Sanitary Napkin Receptacle
ENG.	Engineering	N.C.	Not in Contact	SND.	Sanitary Napkin Receptacle
ENCL.	Enclosure	N.H.	Not to Scale	SND.	Sanitary Napkin Receptacle
EP.	Electrical Panelboard	OA.	Overall	SND.	Sanitary Napkin Receptacle
EQ.	Equipment	OB.	Obstruction	SND.	Sanitary Napkin Receptacle
ENG.	Electric Meter	OC.	On Center	SND.	Sanitary Napkin Receptacle
ENT.	Entrance	OD.	Outside Diameter (Dia.)	SND.	Sanitary Napkin Receptacle
EXP.	Exposure	OFF.	Office	SND.	Sanitary Napkin Receptacle
EXT.	Exterior	OP.	Opening	SND.	Sanitary Napkin Receptacle
		OPP.	Opposite	SND.	Sanitary Napkin Receptacle

## ARCHITECTURAL LEGEND



## BUILDING DATA

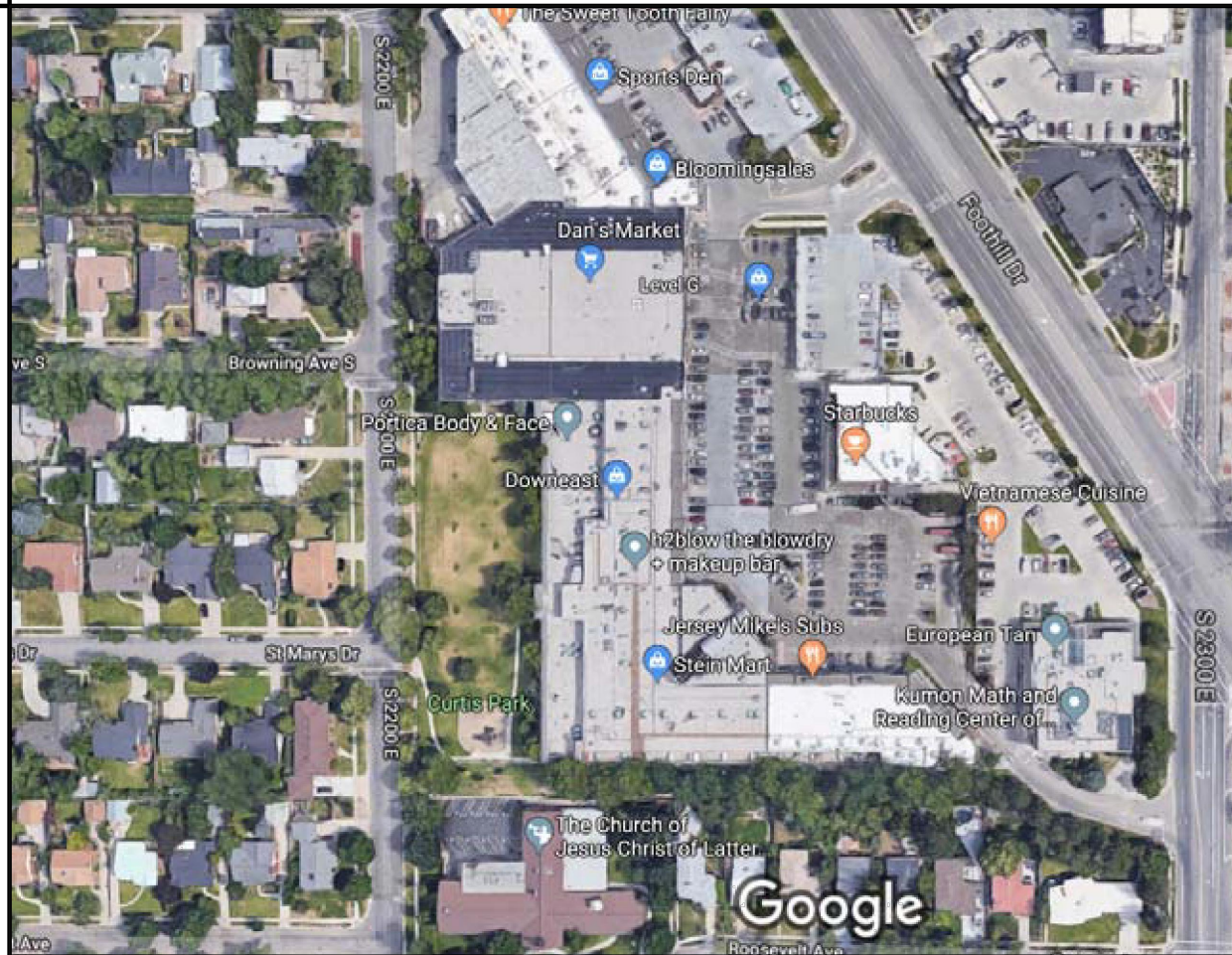
### TENANT SPACE DATA:

OCCUPANCY:	B
NO. OF STORIES:	ONE
TYPE OF CONSTRUCTION:	VB
SPRINKLERS:	NO
TENANT SF:	1,268 S.F.
OCCUPANT LOAD:	21.0
EXITS REQUIRED:	1 EXIT PROVIDED

### OCCUPANT LOAD

USE	SQ.FT.	OCC. LOAD FACTOR	OCC. LOAD #
RECEPTION / RETAIL	224	15	15.0
WAX ROOM 1	83	100	1.0
WAX ROOM 2	88	100	1.0
WAX ROOM 3	88	100	1.0
WAX ROOM 4	88	100	1.0
WAX ROOM 5	88	100	1.0
STORAGE	104	300	1.0
OCCUPANT LOAD			21.0

## VICINITY MAP



## PLAN NOTES

1. WALL TO WALL DIMENSIONS ARE TO FACE OF STUD U.O.N.
2. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ONE 2A00G FIRE EXTINGUISHER & CABINET PER 1500 SF AS INDICATED ON THE FLOOR PLAN OR AS INDICATED ELSEWHERE IN THESE DOCUMENTS.
3. ALL DOOR HARDWARE SHALL BE INSTALLED PER 2012 IRC REQUIREMENTS.
4. SAFETY GLAZING SHALL BE PROVIDED AT ALL HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO, GLAZING IN DOORS & WINDOWS ADJACENT TO DOORS.
5. ALL DOORS SHALL BE EQUIPPED WITH SINGLE EFFORT, NON-GRASP HARDWARE (LEVER) CENTERED BETWEEN 34" AND 44" AFF.
6. ALL DOORS USED FOR EGRESS SHALL HAVE SINGLE ACTION HARDWARE.
7. THE OWNER OF THE PROPERTY SHOULD COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
8. ALL OFFICE FURNITURE AND EQUIPMENT IS N.I.C.
9. PROVIDE 6"x6" INTERNATIONAL SIGN OF ACCESSIBILITY AT ACCESSIBLE ENTRANCE TO FACILITY, MOUNTED WITH CENTERLINE AT 60" AFF.
10. PROVIDE THE WORDS, "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IN 1" HIGH LETTERING ABOVE INTERIOR SIDE OF MAIN ENTRANCE DOORS.
11. PROVIDE A 90 MINUT BATTERY BACKUP EMERGENCY LIGHTING SYSTEM. THE EMERGENCY LIGHTING SYSTEM SHALL PROVIDE POWER TO THE MEANS OF EGRESS ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES.
12. NEW AND EXISTING BUILDINGS SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 6" HIGH WITH A MINIMUM STROKE OF 1"

## SHEET INDEX

T1	COVER SHEET
A1.0	EGRESS PLAN
A2.0	FLOOR PLAN & DETAILS
A3.0	REFLECTED CEILING PLAN & DETAILS
A4.0	DOOR SCHEDULE AND TYPICAL DETAILS
A5.0	FINISHES PLANS & DETAILS
F1.0	PLUMBING PLAN
M1.0	MECHANICAL PLAN
M2.0	MECHANICAL ROOF PLAN
E1.0	ELECTRICAL POWER PLAN
E2.0	ELECTRICAL LIGHTING PLAN
R1.0	ENERGY COMPLIANCE FORMS

## APPLICABLE BLDG. CODES

### ALL WORK SHALL COMPLY WITH FOLLOWING CODES AND REGULATIONS

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL FIRE CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2016 NATIONAL ELECTRICAL CODE

## DEMOLITION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES AND ORDINANCES OF THE CITY OF SALT LAKE CITY
2. CONTRACTORS SHALL NOT SCALE FROM DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. NOTIFY THE ARCHITECT AND OR ENGINEER OF ANY DISCREPANCIES ON DRAWINGS REQUIRING CLARIFICATION OR REVISION BEFORE COMMENCING WITH THE WORK.
3. CONTRACTOR SHALL PROTECT ALL EXISTING CONDITIONS THAT ARE TO REMAIN, AND SECURE THE PROPERTY DURING CONSTRUCTION.
4. VERIFY ALL EXISTING CONDITIONS AND UTILITIES IN THE FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT MAY OCCUR.
5. CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO THE SAME.
6. ALL CRITICAL DIMENSIONS FOR EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD BEFORE FABRICATION OR CONSTRUCTION OF NEW WORK.

## BUILDING SIGNAGE

1. ALL BUILDING SIGNS ARE UNDER SEPARATE PERMIT

## DEFERRED SUBMITTALS

INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTOR'S DRAWINGS, SPECIFICATIONS AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE CITY OF SALT LAKE CITY DEFERRED SUBMITTAL ITEM(S):

- A. SIGNAGE- SEPARATE PERMIT

ALL ADDENDAS AND CHANGE ORDERS OF APPROVED DRAWINGS AND SPECIFICATIONS DETAILS SHALL BE APPROVED BY THE CITY OF SALT LAKE CITY

## SCOPE OF WORK

**SHEETS T1, A0.0, A1.0, A2.0, A3.0, A4.0 & A5.0:**  
NEW WORK TO INCLUDE 5 NEW WAX ROOMS, LOBBY, STORAGE, AND UNI-SEX RESTROOM.  
NEW NON LOAD BEARING INTERIOR WALLS, WALLS, NEW CEILING,  
NEW FLOOR AND WALL FINISHES, NEW DOORS, DOORS FRAMES, NEW WAX CABINETS AND RECEPTION DECK.

**SHEET M1.0**  
RE-USE EXISTING ROOFTOP HVAC UNIT, NEW DUCT WORK, REGISTERS, DAMPERS AND THERMOSTATS.  
NEW HVAC DUCTS CONNECTED TO NEW HVAC UNIT NEW SUPPLY AND RETURN AIR REGISTERS, DAMPERS AND

**SHEETS E1.0 & E2.0**  
RE-USE EXISTING ELECTRICAL PANEL, PROVIDE OUTETS AND JBOX FOR POWER. PROVIDE NEW LIGHT  
FIXTURE AND SWITCHES.

### FRANCHISE OWNER:

BRUCE VARGO  
VANCOUVER WAX LLC  
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SUITE 140  
VANCOUVER, WA 98684  
(360) 644-7855 ext 136  
bruce.vargo@waxcenter.com

### ARCHITECT OF RECORD:

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UTAH ARCHITECT'S LICENSE # 9229718-0301  
MPA ARCHITECTS INC  
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SAN DIEGO, CA 92104  
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mpalmer@mp-architects.com

### OWNER'S REPRESENTATIVE

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## JOINT VENTURE PROJECT



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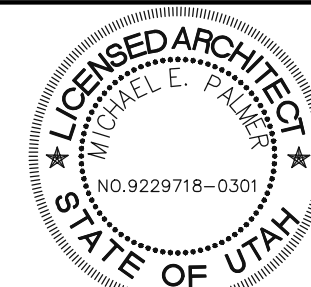
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### PROJECT TITLE:

EUROPEAN WAX  
CENTER  
1440 S FOOTHILL DR.  
SUITE 140  
SALT LAKE CITY, UT  
84108

### SHEET DESCRIPTION

## TITLE SHEET



### REVISIONS:

OWNER REVIEW  
08-30-2019- Plan Check Corrections

DWN TB  
DATE 8-22-2019  
DWK TB  
SCALE AS NOTED  
PROJ. 2019-50

T1