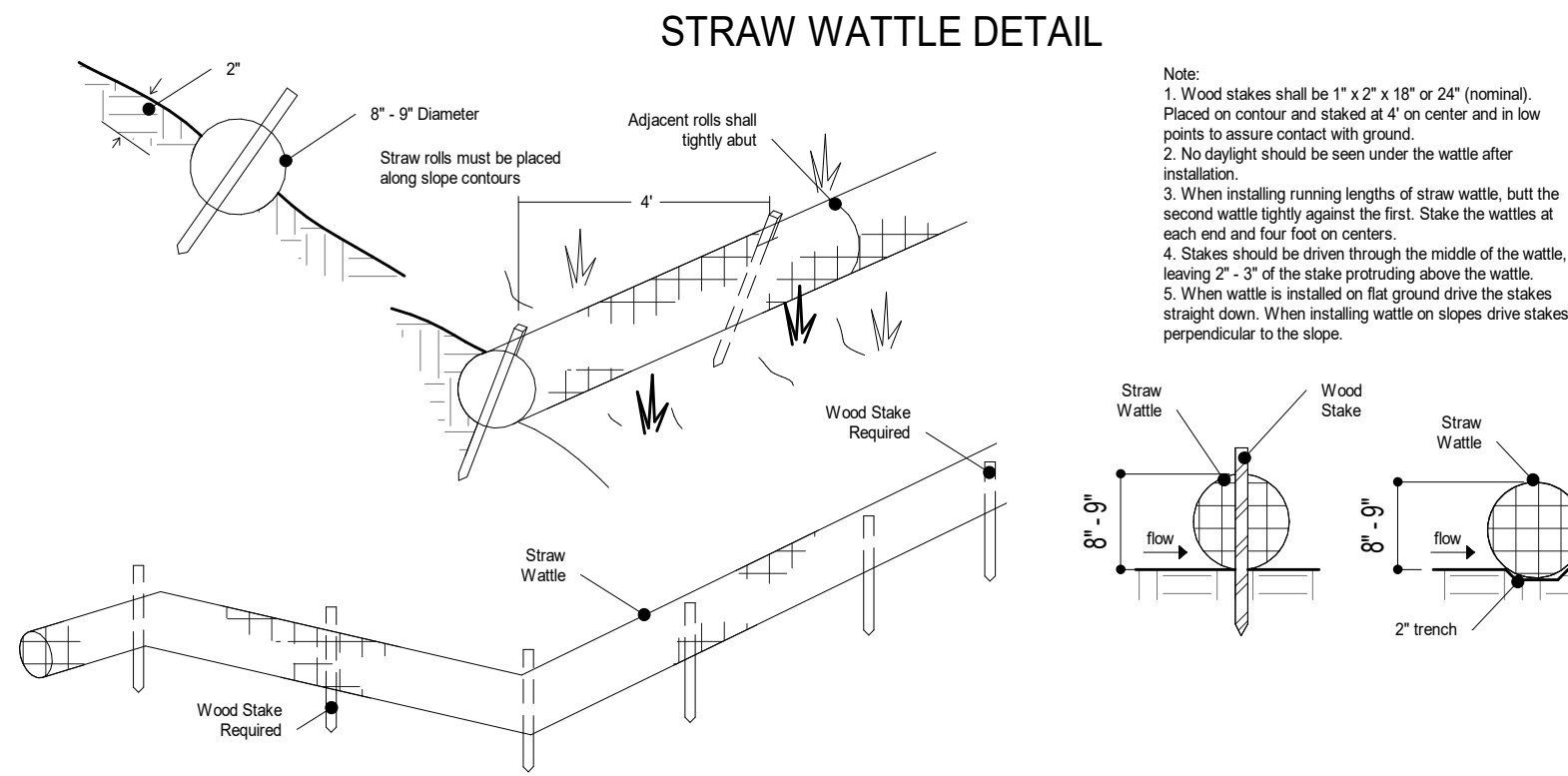
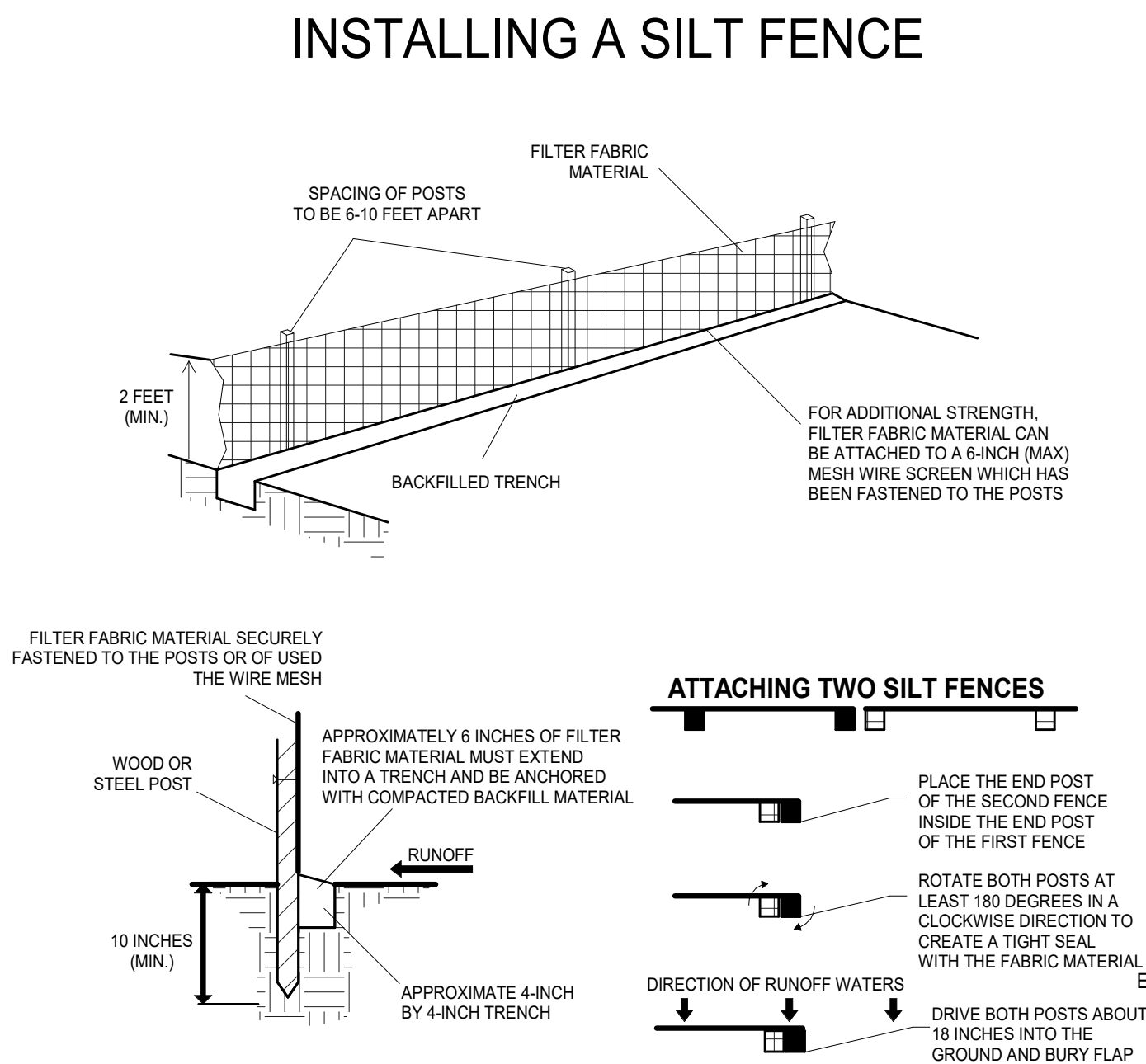
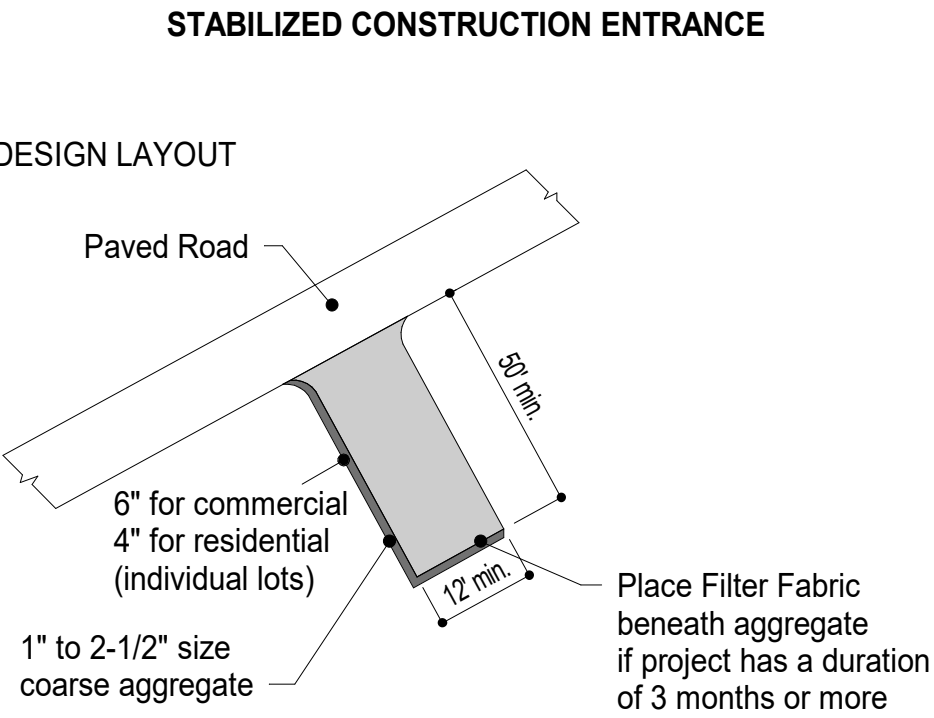


Required Inspections Table		
Inspection	Description/Requirements	Contact
Driveway/ Site Staking	Required prior to issuance of a Building Permit. Locate/ stake the driveway at the street and at the road right of way/property line and locate/stake all property corners with a 4 foot steel fence post.	Engineering
Rough Grading	Required prior to scheduling a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.	Engineering
Footing	Schedule after steel is in place and before the concrete is poured.	Building
Foundation	Schedule after steel is in place in the forms and before concrete is placed.	Building
Under Slab Plumbing & Heating	Before concrete is poured or plumbing has been backfilled.	Building
Certificate of Elevation and/or survey	Performed by a licensed surveyor. Required prior to scheduling a Floor Framing Inspection. See requirements below.	Building
Floor Framing Inspection	Required prior to placing floor sheeting and includes Footing Drain inspection.	Building
Shear Wall	After the building is up to "the square" and all shear walls have been nailed and all the tie downs and shear wall connections have been installed.	Building
Fire Sprinklers	Required prior to a four-way inspection, when required by the local Fire District.	Building
Four-Way	This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, shear walls previously inspected, and truss specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.	Building
Weather Barrier/ Stucco Lath	Weather barrier shall be inspected prior to applying veneer. Approved stucco I.C.C. research reports on site.	Building
Gas Meter Set	Required before gas meter clearance is given to Questar.	Building
Masonry wall/ bond team	Steel in masonry and before concrete/ grout is poured.	Building
Insulation	Pre Sheetrock insulation certificate required.	Building
Drywall Nailing	This is done before drywall is taped.	Building
Power to Panel	Building must be up with permanent roof installed.	Building
Driveway pre-surfacing	Site Erosion Control measures must be installed and driveway graded to it's final configuration.	Engineering
Final Driveway and Site Inspection	Required prior to Certificate of Occupancy and/or Bond Release. Driveway must be surfaced and site must be revegetated (inspections may be scheduled separately.) If the site is not revegetated, the erosion conrol measures must be in place and installed correctly.	Engineering
Flood Plain Elevation Certificate	FEMA Elevation Certificate (if applicable) required prior to certificate of Occupancy. Form must be filed with FEMA and a copy provided to Engineering Department.	Engineering
Final	All work is DONE and building complete. Final clearances from the waste water district for sewer, County Health Department for septic, and fire district for sprinkler systems must be on the project for this inspection. Required for Certificate of Occupancy.	Building
Certificate of Occupancy	Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office in Coalville. 1) Snyderville Basin Residential: Final from Building Department, Final from Engineering Department, Final letter from Snyderville Basin Water Reclamation District, Final water concurrency letter from appropriate water company, Final from Park City Fire District (in required subdivision). 2) Eastern Summit County: Final from Building Department, Final from Engineering Department, Final from Fire District and Final from Health Department.	Building
ECP Bod Release Inspection	Required to verify that the site has been fully stabilized (revegetated). Inspection is required prior to applicant receiving a release of their Erosion Control Bond. Applicant must provide a written request for the release of the bond.	Engineering

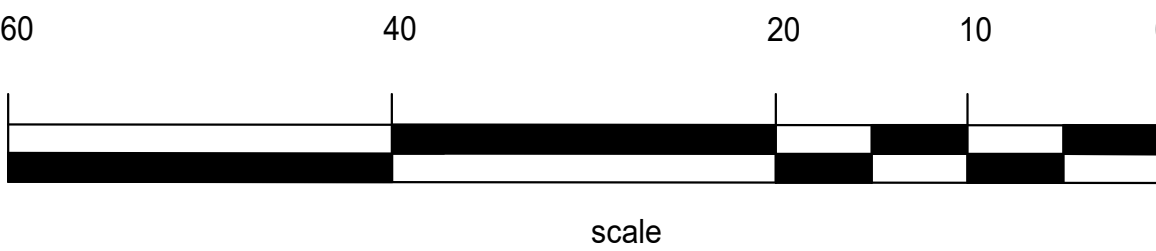
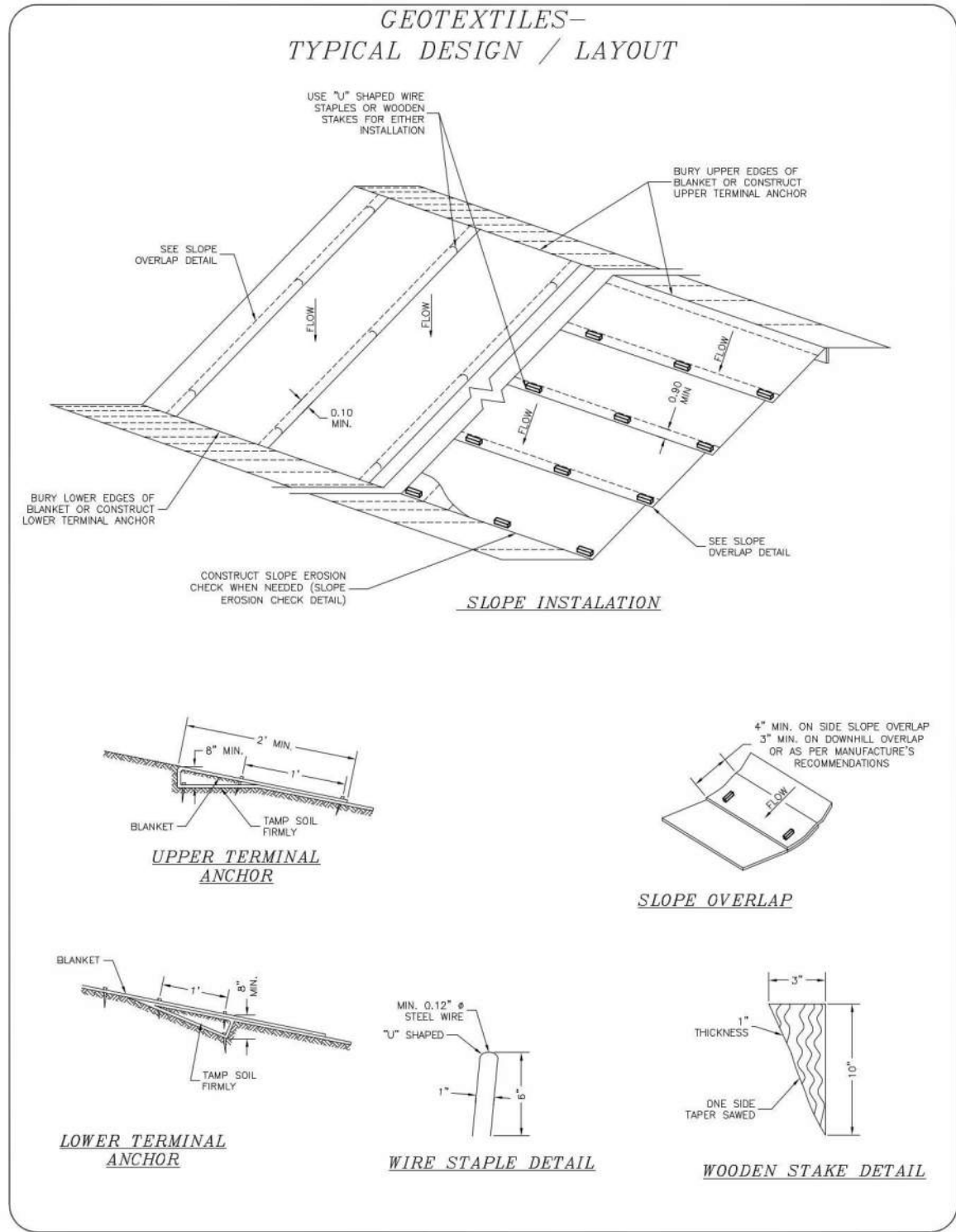


TOTAL LOT SIZE	ALLOWABLE TOTAL MAX SITE COVERAGE	PROPOSED TOTAL MAX SITE COVERAGE
0.42 Acres	10,000 sq. ft.	5,858 sq.ft.



- Installation:**
1. Install at any point of ingress or egress at a construction site where adjacent traveled way is paved.
 2. Clear and grub area and grade to provide slope shown for driveway, or access/intersection. If adjacent to waterway, use a maximum slope 2%.
 3. Compact subgrade and place filter fabric if required.
 4. Place coarse aggregate, 1 to 2-1/2" size, to a minimum depth of 6" for commercial projects, and 4" for residential projects.

- Maintenance:**
1. Inspect daily for loss of gravel or sediment buildup.
 2. Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
 3. Repair entrance and replace gravel as required to maintain control in good working condition.
 4. Expand stabilized area as required to accommodate traffic, and off site street parking and prevent crosion at driveway.



SUBDIVISION INFORMATION

City	Heber, Utah
State	Utah
Phase	1
Lot	Lot 29
Subdivision	Red Ledges
Address	530 N. Haystack Mtn. Dr.

HAYSTACK MOUNTAIN DRIVE



GENERAL & KEYED NOTES

- 1 Minimum driveway slope to be 2% away from garage (12% maximum)
- 2 Finish grade & elevations to slope away from house @ minimum 6 in. (5%) for the first 10'
- 3 All drainage to slope away from residence @ all points to a public utility. Do not allow drainage to go onto any neighboring property by directing out to street.
- 4 Landscape by others
- 5 Sewer Lateral to have 2% min. rise
- 6 Provide rock retaining as req'd
- 7 Provide landscape berming for runoff water retention as req'd
- 8 All surface runoff to be contained within property boundaries
- 9 Provide stamped colored concrete or pavers for driveway as per owner
- 10 Construction parking is curb to asphalt on the side of the road. No construction parking is ever allowed in the native areas
- 11 All construction fencing, Silt fencing to border the Area of Disturbance
- 12 Utilities under driveway to be sleeved
- 13 AC condensor location. To be screened as per ARC guidelines. AC condensor to be screened with landscaping. see sheet C2.2
- 14 All utilities to be screened as per ARC guidelines & owner.



1443 W 800 N #203 Orem, Utah 84057 Ph: 801.373.0909

Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

Contractor shall verify all dimensions, conditions and measurements at the job prior to construction. These plans and documents are the property of Inouye Design, and any reuse or further distribution thereof in part or in whole without the written permission of the designer is strictly prohibited. Designer is not an architect or engineer. © Copyright 2021 Inouye Design

18 x 24 (sheet size): NO SCALE
24 x 36 (sheet size): 1"= 10'-0"

Project 20089

19 March 2021

C2.1

SITE PLAN