

PROJECT NAME

Red Ledges - Lot 29

FRONT PERSPECTIVE



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Red Ledges, Lot 29

Heber, Utah

PROJECT INFORMATION

OWNER:

David & Cheryl Llewellyn

DESIGNER:

Inouye Design
Ph. 801-373-0909
1443 West 800 North ste. 203
Orem, Utah 84057

CONTRACTOR:

Triple J Builders LLC
1343 S 2240 E. Heber City, Utah
Ph. 435-671-5038

STRUCTURAL ENGINEER:

Bearghost Inc.
Ph. 801-360-1200
10513 North Iverson Lane
Highland, Utah 84003

GEOTECHNICAL ENGINEER:

INTERIOR DESIGNER:

DESIGN CRITERIA

Governing Structural Codes:
2018 IBC, 2015 IRC, Utah R156-56

Location:
Elev. 5,771 ft.

Gravity Loads:
Roof DL: 25 psf
Roof LL: 45 psf (Pg = 21 psf)
Floor DL: 25 psf
Floor LL: 40 psf
Walls: 10 psf (interior), 12 psf (exterior)

Seismic:
V = .076 *W
V = .140 *W
Design Category: D0

Wind:
115 mph (V ult), Exposure C

Foundation:
Bearing capacity 1500 psf
(Assumed; field verify)

Frost Depth:
36 inches (Assumed; field verify)

SQUARE FOOTAGE

TERRACE LEVEL

Living Space 1876 SF

Storage 252 SF

MAIN LEVEL

Garage Space 1136 SF

Living Space 2142 SF

TOTAL

Garage Space 1136 SF

Living Space 4018 SF

Storage 252 SF

MAIN LEVEL SCHEMATIC



TERRACE LEVEL SCHEMATIC



Revisions

Date	Description

INOUYE DESIGN

1443 W 800 N #203 Orem, Utah 84057 Ph: 801.373.0909

Red Ledges - Lot 29

Heber, Utah

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Project 20089

19 March 2021

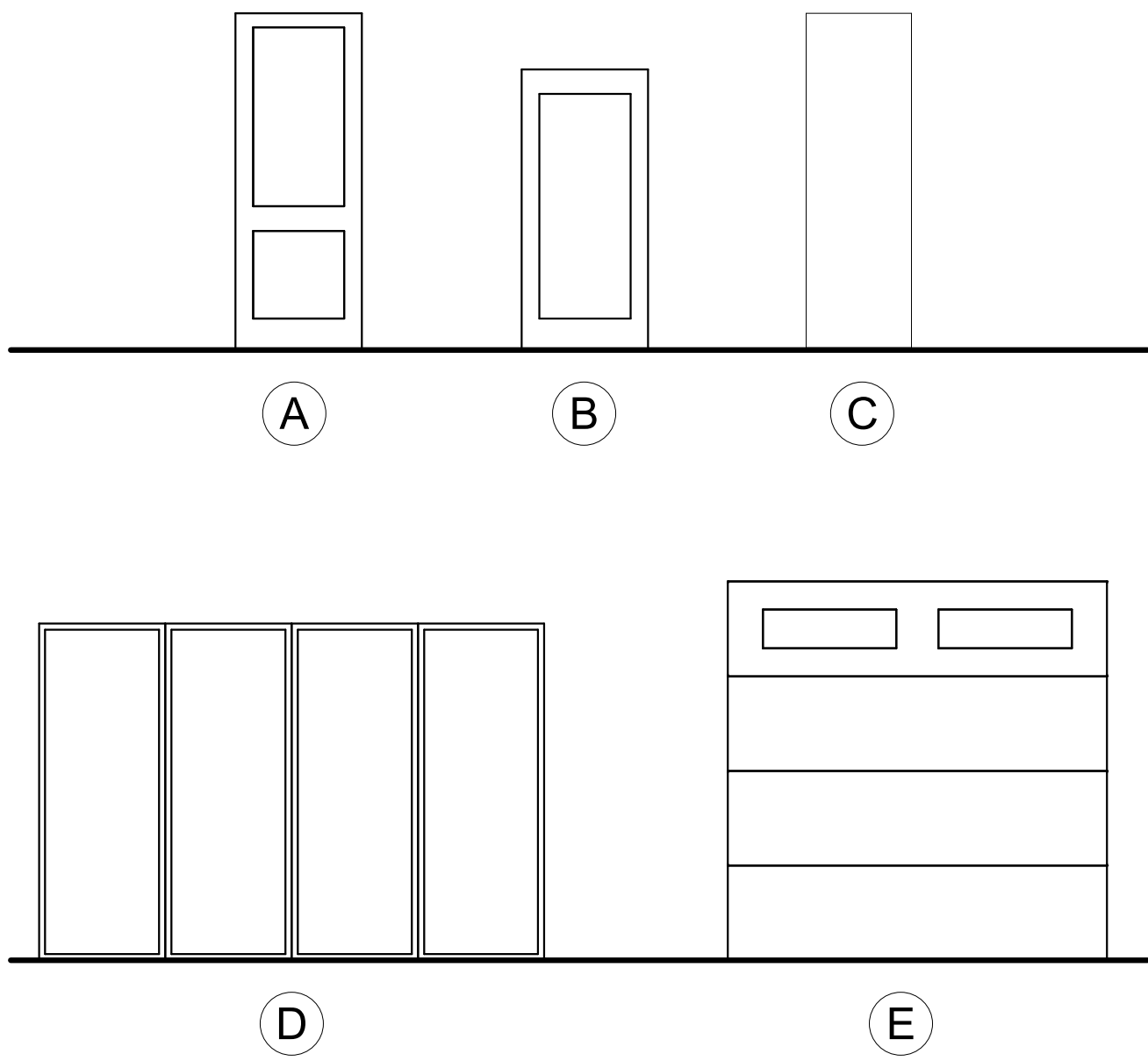
C1.1

COVER SHEET & INDEX

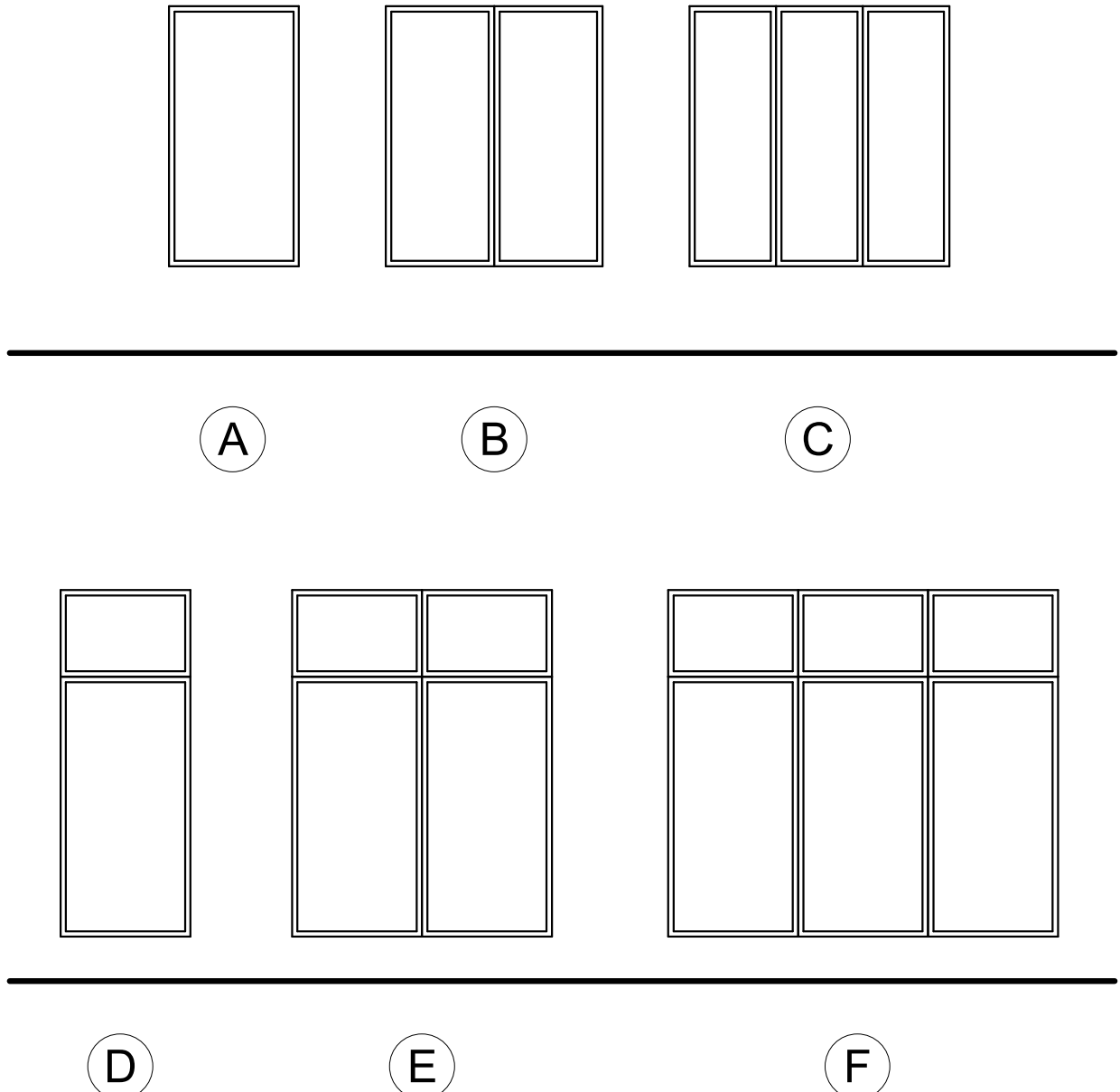
COMPLETE DOOR SCHEDULE						
Dr.	Quantity	Width	Height	Style	Swing	Remarks
D1	2	3' - 6"	8' - 0"	A	Left Hand	
D2	5	3' - 0"	8' - 0"	A	Right Hand	
D3	3	2' - 8"	8' - 0"	A	Right Hand	
D4	3	2' - 6"	8' - 0"	C	Right Hand	Tempered glass Shower Door
D5	1	2' - 4"	8' - 0"	A	Right Hand	
D6	1	2' - 8"	8' - 0"	A	Left Hand	
D7	2	12' - 0"	8' - 0"	D	Sliding	Exterior w/ double paned glass
D8	6	3' - 0"	8' - 0"	A	Left Hand	
D9	3	2' - 6"	8' - 0"	A	Right Hand	
D10	1	3' - 6"	8' - 0"	A	Left Hand	Metal w/ Self closing hinges
D11	3	9' - 0"	9' - 0"	E	Overhead	Garage Door
D12	4	2' - 6"	8' - 0"	A	Left Hand	
D13	1	3' - 0"	8' - 0"	B	Right Hand	Exterior w/ double paned glass
D14	1	3' - 0"	8' - 0"	B	Left Hand	Exterior w/ double paned glass
D15	1	14' - 0"	8' - 0"	D	Sliding	Exterior w/ double paned glass

COMPLETE WINDOW SHEDULE							
Win.	Quantity	Width	Height	Style	Type	Action	Remarks
W1	2	1' - 3"	8' - 0"	A	Casement	fxd.	Tempered glass
W2	1	6' - 0"	8' - 0"	E	Casement	fxd., fxd.	(2) 3'-0" x 6'-0" w/ 2'-0" transom, tempered glass
W3	1	3' - 0"	5' - 0"	A	Casement	fxd.	
W4	1	2' - 0"	1' - 6"	A	Casement	fxd.	Tempered glass
W5	1	5' - 0"	5' - 0"	A	Casement	fxd.	Tempered glass
W6	1	2' - 0"	3' - 0"	A	Casement	opp.	
W7	2	7' - 6"	2' - 0"	C	Casement	opp., fxd., opp.	(3) 2'-6" x 2'-0"
W8	4	3' - 0"	2' - 0"	A	Picture	fxd.	
W9	2	6' - 0"	5' - 0"	C	Casement	opp., fxd., opp.	
W10	3	7' - 0"	1' - 6"	C	Picture	fxd.	
W11	1	4' - 0"	8' - 0"	D	Casement	opp.	4'-0" x 6'-0" w/ 2'-0" transom
W12	1	3' - 0"	4' - 6"	A	Casement	fxd.	
W13	1	4' - 0"	4' - 6"	B	Casement	fxd., opp.	
W14	1	6' - 0"	2' - 0"	A	Picture	fxd.	
W15	1	6' - 0"	3' - 0"	C	Casement	opp., fxd., opp.	
W16	1	4' - 0"	2' - 0"	A	Casement	opp.	Tempered glass
W17	1	7' - 6"	8' - 0"	F	Casement	fxd.	(3) 2'-6" x 6'-0" w/ 2'-0" transom
W18	1	2' - 6"	8' - 0"	D	Casement	fxd.	2'-6" x 6'-0" w/ 2'-0" transom
W19	2	4' - 0"	8' - 6"	D	Casement	fxd.	
W20	1	6' - 0"	8' - 6"	D	Casement	fxd.	
W21	1	5' - 0"	5' - 0"	B	Casement	fxd., opp.	
W22	1	2' - 6"	5' - 0"	A	Casement	fxd.	
W23	2	6' - 0"	5' - 0"	B	Casement	fxd., opp.	(2) 3'-0" x 5'-0"
W24	2	3' - 0"	1' - 6"	A	Casement	opp.	Tempered glass
W25	1	2' - 0"	3' - 0"	A	Casement	fxd.	Tempered glass

DOOR STYLE LEGEND



WINDOW STYLE LEGEND



GENERAL & KEYED NOTES

- 1 All exterior windows to be double glazed insulated glass u.n.o.
- 2 Window manufacturer to provide tempered glass as req'd
- 3 All windows in bedrooms to meet egress requirements as per IRC
- 4 French door hardware to match other lever handles
- 5 All doors to have decorative molding as per owner
- 6 All exterior doors to have security hinges
- 7 All interior windows to be single glazed
- 8 All exterior windows to have U-value of .35 or better



Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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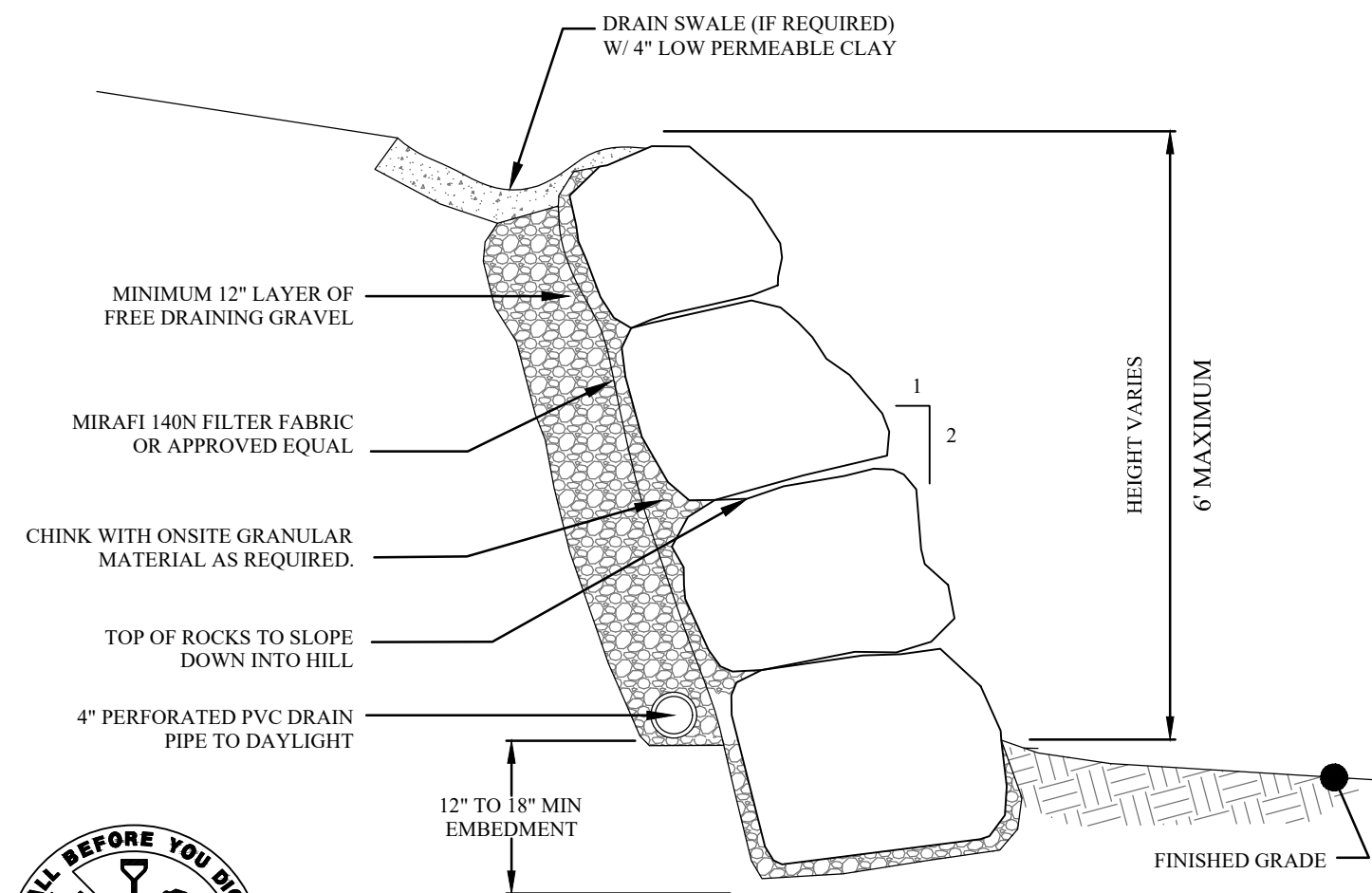
12 x 18 (sheet size): 1/8"=1'-0"
24 x 36 (sheet size): 1/4"=1'-0"

Project 20089

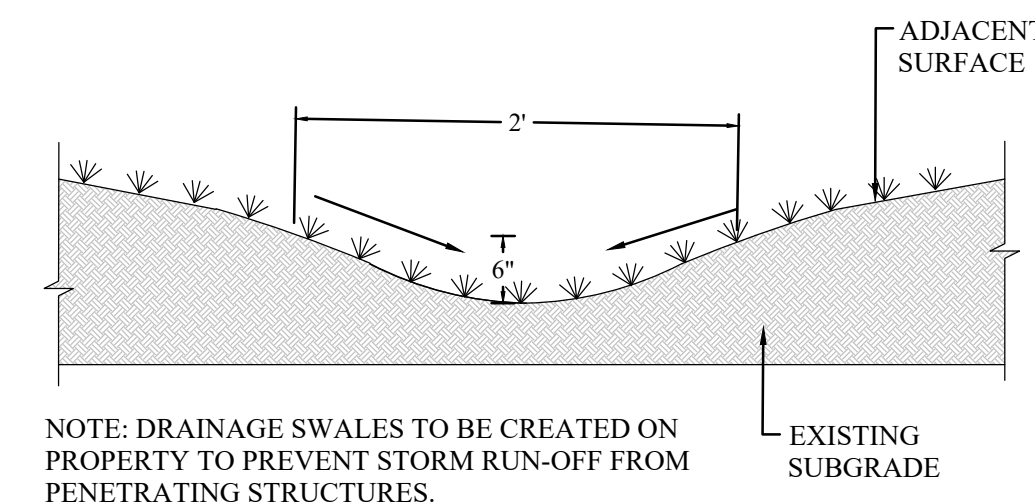
19 March 2021

C1.3

COMPLETE SCHEDULES



NTS



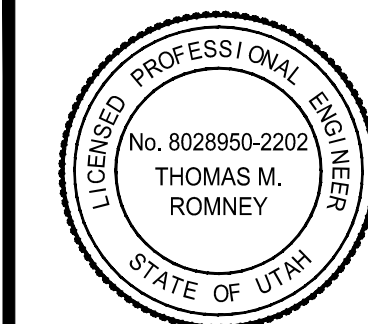
NTS

1. DRAINAGE SWALES SHALL BE INSTALLED ALONG THE SIDE AND REAR PROPERTY LINES AS REQUIRED. SWALES SHALL REMAIN UNALTERED AND BE MAINTAINED BY THE PROPERTY OWNER.
2. ALL WINDOW WELLS TO BE 6" BELOW TOP OF FOUNDATION AND A MINIMUM OF 3' ABOVE FINISHED GRADE.
3. A CONSTRUCTION TO BE DONE ACCORDING TO CITY STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INCLUDING THE ELEVATION OF THE SEWER LATERAL.
5. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5.0%). R401.3.
6. ROOF DRAINAGE TO BE CONVEYED (AS MUCH AS POSSIBLE) TO THE FRONT OF THE HOUSE AND TO THE STREET.
7. PROVIDE LANDINGS ON BOTH SIDES OF ALL EXTERIOR DOORS. LANDINGS MUST BE 36" DEEP (MIN.) R311.6.2
8. A TRASH DUMPSTER AND PORTABLE CONSTRUCTION TOILET SHALL BE PROVIDED AT ALL NEW CONSTRUCTION SITES.
9. ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS
10. IT IS NOT ANTICIPATED THAT ANY CONSTRUCTION IN THE PUBLIC WAY WILL BE REQUIRED FOR THE PROJECT.
11. NOTIFY BLUE STAKES (801) 208-2100 OR BLUESTAKES.ORG

FF = FINISHED FLOOR
TOF = TOP OF FOUNDATION
TOP = TOP OF PORCH
GFF = GARAGE FLOOR
BFF = BASEMENT FINISHED FLOOR

FRONT = 30'

FRONT = 30'
SIDE = 10'
REAR = 30'



RED LEDGES LOT 29

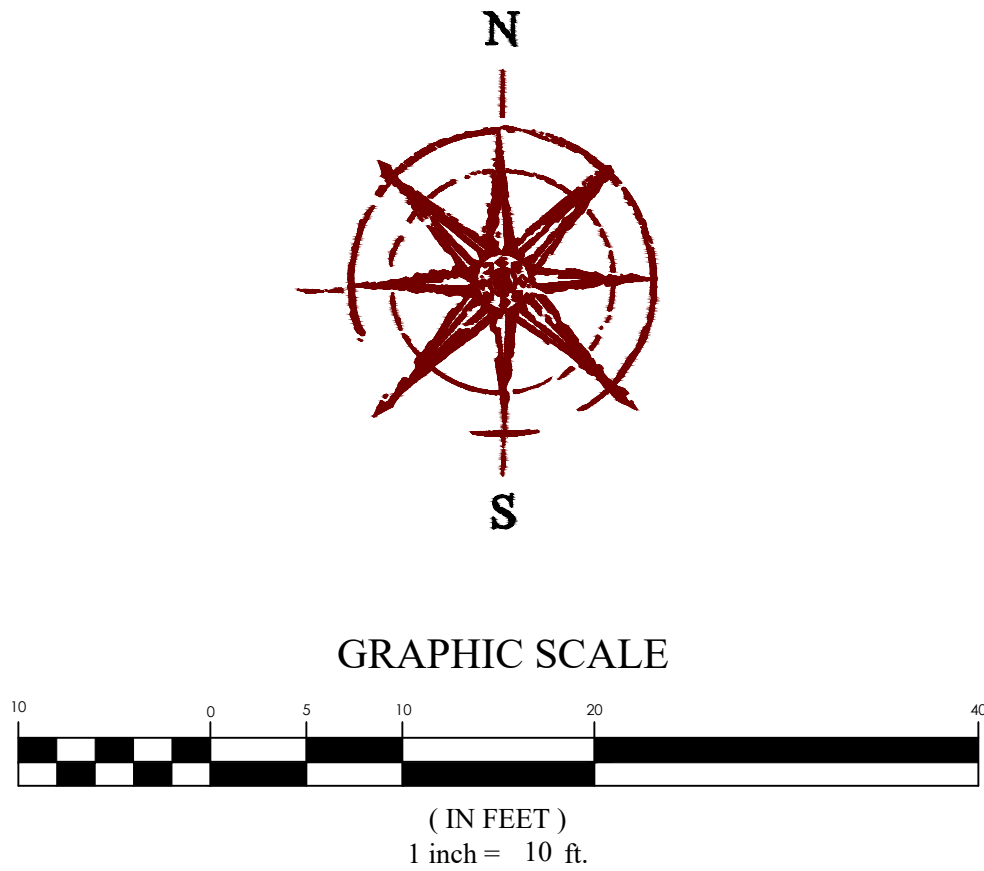
530 N. HAYSTACK MOUNTAIN DR., HEBER CITY, UTAH

SITE PLAN

REVISION BLOCK		
#	DATE	DESCRIPTION
1	8/20/2018	8/20/2018
2	8/20/2018	8/20/2018
3	8/20/2018	8/20/2018
4	8/20/2018	8/20/2018
5	8/20/2018	8/20/2018
	8/20/2018	8/20/2018

Scale:	1"=10'	Drawn:	PA/TS
Date:	03/19/2021	Job #:	21-0121
Sheet:			

SP-1



NOTES:

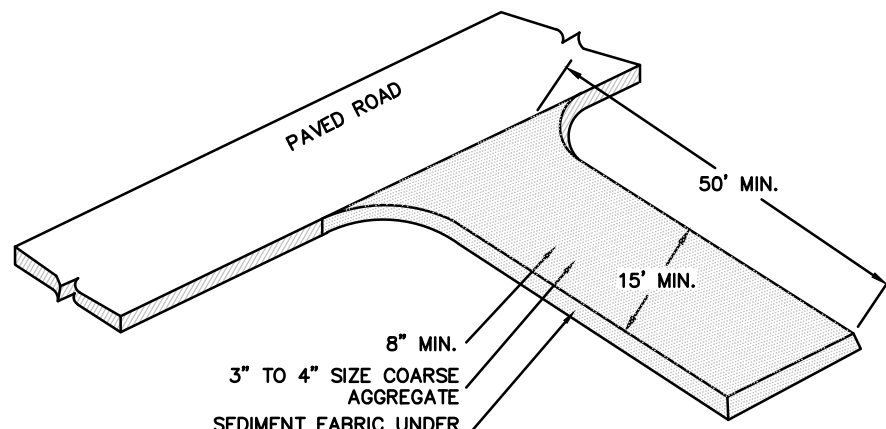
1. DRAINAGE SWALES SHALL BE INSTALLED ALONG THE SIDE AND REAR PROPERTY LINES AS REQUIRED. SWALES SHALL REMAIN UNALTERED AND BE MAINTAINED BY THE PROPERTY OWNER.
2. ALL WINDOW WELLS TO BE 6" BELOW TOP OF FOUNDATION AND A MINIMUM OF 3" ABOVE FINISHED GRADE.
3. ALL CONSTRUCTION TO BE DONE ACCORDING TO CITY STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, INCLUDING THE ELEVATION OF THE SEWER LATERAL.
5. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5.0%). R401.3.
6. ROOF DRAINAGE TO BE CONVEYED (AS MUCH AS POSSIBLE) TO THE FRONT OF THE HOUSE AND TO THE STREET.
7. PROVIDE LANDINGS ON BOTH SIDES OF ALL EXTERIOR DOORS. LANDINGS MUST BE 36" DEEP (MIN.) R311.6.2
8. A TRASH DUMPSTER AND PORTABLE CONSTRUCTION TOILET SHALL BE PROVIDED AT ALL NEW CONSTRUCTION SITES.
9. ANY WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS
10. IT IS NOT ANTICIPATED THAT ANY CONSTRUCTION IN THE PUBLIC WAY WILL BE REQUIRED FOR THE PROJECT.
11. NOTIFY BLUE STAKES (801) 208-2100 OR BLUESTAKES.ORG
12. ALL RETAINING WALLS ABOVE 4', SWIMMING POOLS, SOLAR, GEO-THERMAL HEATING SYSTEMS, AND PHOTO-VOLTAIC AND WIND GENERATED ELECTRICAL SYSTEMS REQUIRE SEPARATE PERMITS, PLANS, SPECIFICATIONS, AND APPLICATIONS TO BE REVIEWED PRIOR TO THESE PLANS.
13. A GEOTECHNICAL INSPECTIONS WILL BE REQUIRED PRIOR TO FOOTING INSPECTION.

LEGEND:

- FF = FINISHED FLOOR
TOF = TOP OF FOUNDATION
TOP = TOP OF PORCH
GFF = GARAGE FLOOR
BFF = BASEMENT FINISHED FLOOR

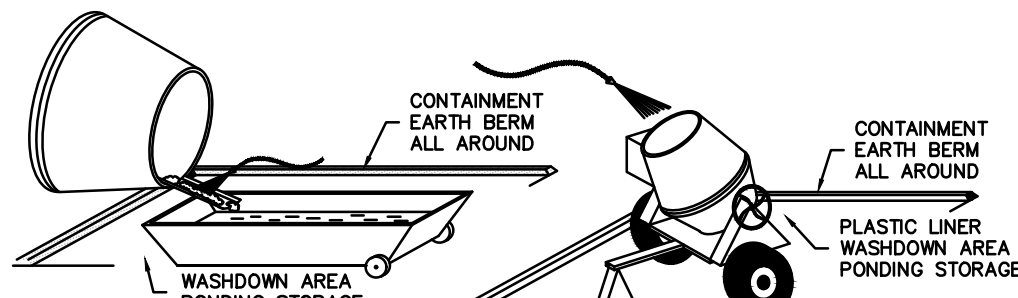
SITE SLOPE NOTE:

1. ALL SLOPES STEEPER THAN 3:1 WILL REQUIRE THE INSTALLATION OF EROSION CONTROL BLANKETS. SEE DETAIL.



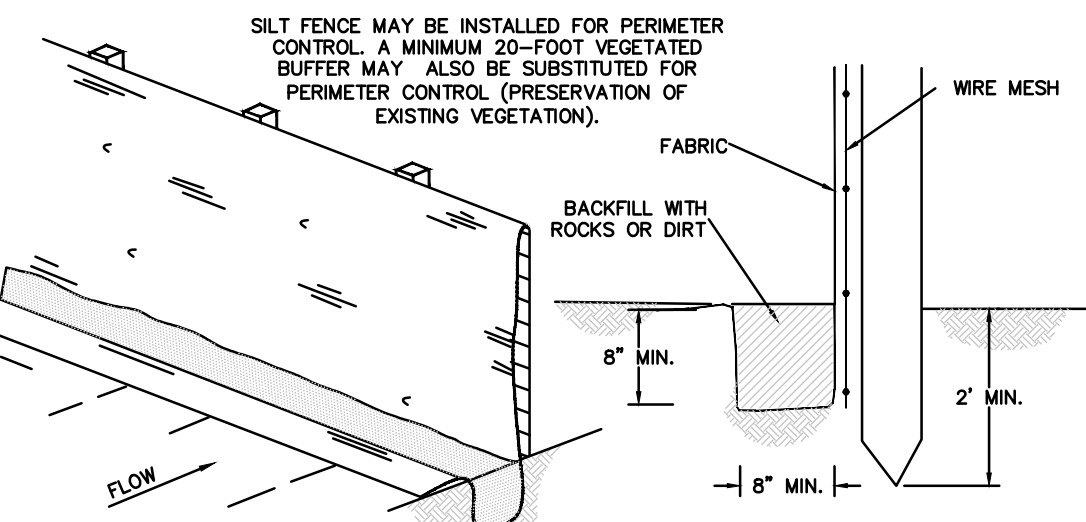
STABILIZED CONSTRUCTION ENTRANCE

NTS



CONCRETE WASTE MANAGEMENT

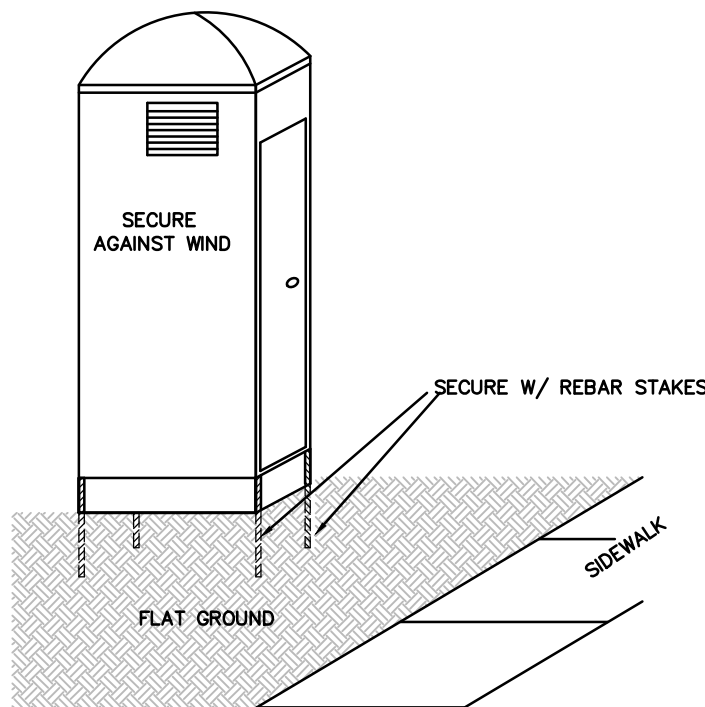
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TOE DETAIL

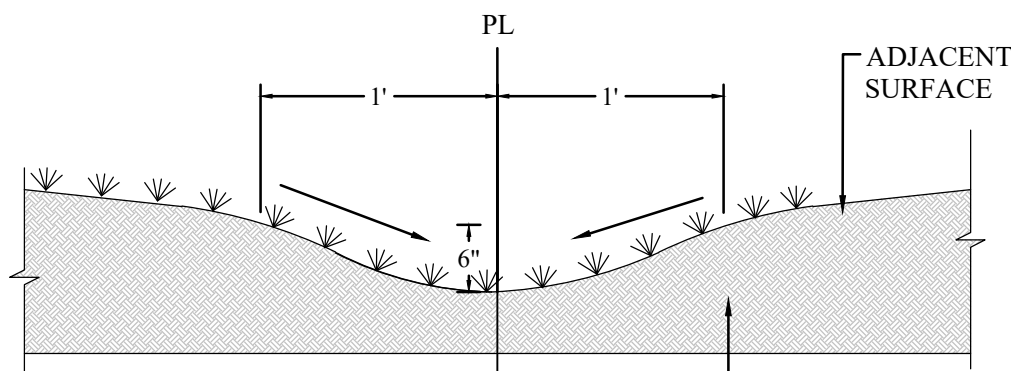
SILT FENCE

NTS



PORTABLE TOILET

NTS

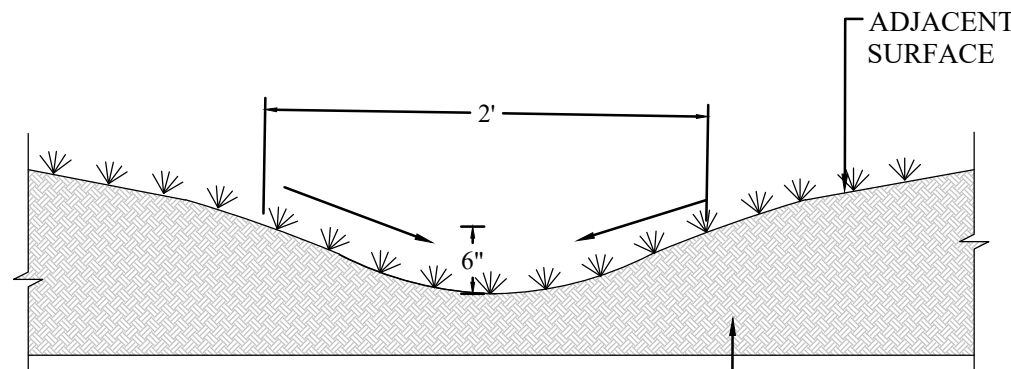


NOTE: DRAINAGE SWALES TO BE CREATED ALONG ENTIRE LOT LINES TO PREVENT STORM RUN-OFF FROM IMPACTING ADJACENT PROPERTIES.

EXISTING SUBGRADE

DRAINAGE SWALE DETAIL 1

NTS

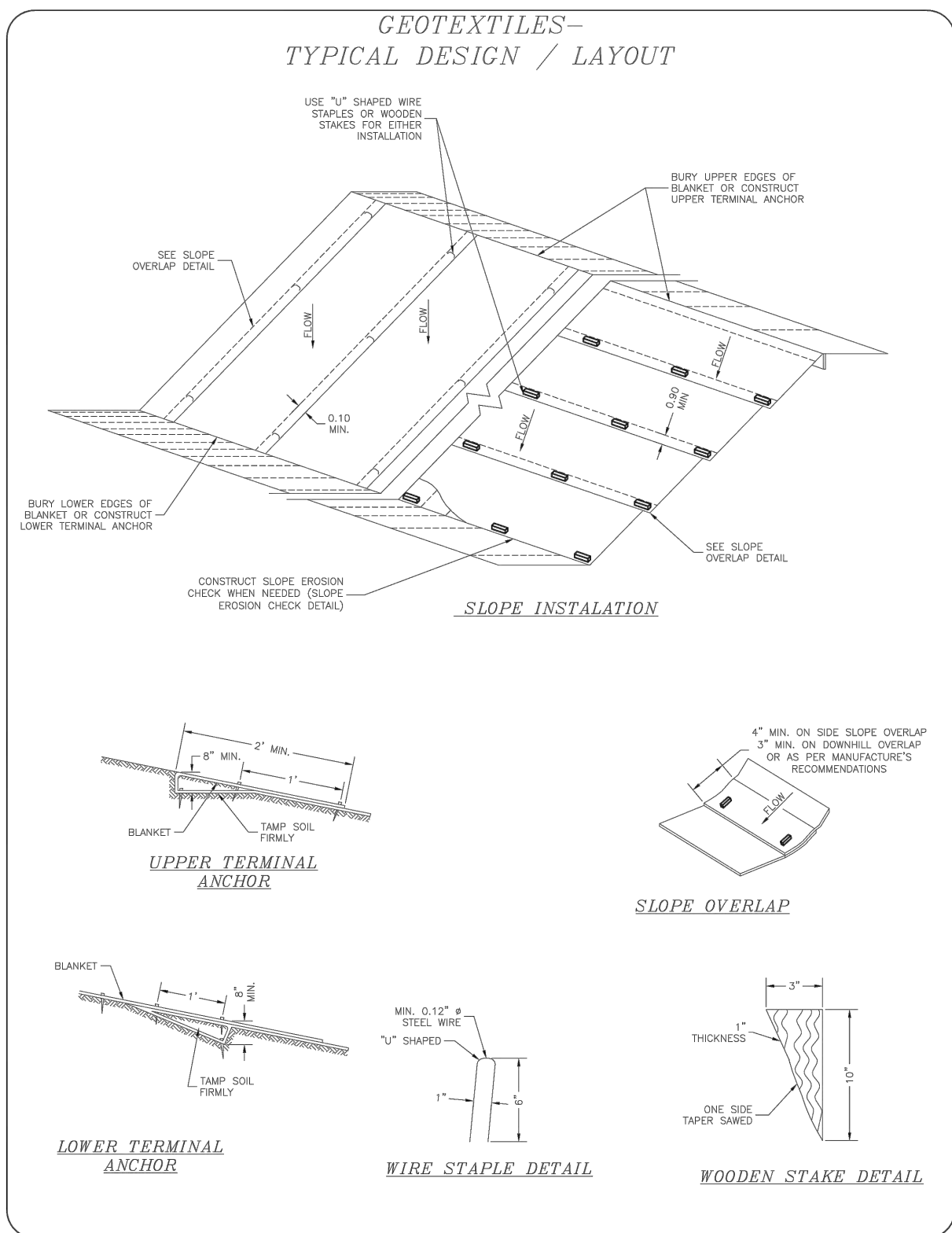


NOTE: DRAINAGE SWALES TO BE CREATED ON PROPERTY TO PREVENT STORM RUN-OFF FROM PENETRATING STRUCTURES.

EXISTING SUBGRADE

DRAINAGE SWALE DETAIL 2

NTS



INSPECTION TABLE		
DRIVEWAY/SITE STAKING	REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. LOCATE/STAKE THE DRIVEWAY AT THE STREET AND AT THE ROAD RIGHT-OF-WAY / PROPERTY LINE AND LOCATE/STAKE ALL PROPERTY CORNERS WITH A 4\"/>	ENGINEERING
ROUGH GRADING	REQUIRED PRIOR TO SCHEDULING A FOOTING INSPECTION. SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND DRIVEWAY MUST BE ROUGHLY GRADED ACCORDING TO PLAN	ENGINEERING
FOOTING	SCHEDULE AFTER STEEL IS IN PLACE AND BEFORE THE CONCRETE IS POURED.	BUILDING
FOUNDATION	SCHEDULE AFTER STEEL IS IN PLACE AND BEFORE THE CONCRETE IS POURED.	BUILDING
UNDER SLAB PLUMBING AND HEATING	BEFORE CONCRETE IS POURED OR PLUMBING HAS BEEN BACKFILLED	BUILDING
CERTIFICATE OF ELEVATION AND / OR SURVEY	PERFORMED BY A LICENSED SURVEYOR. REQUIRED PRIOR TO SCHEDULING A FLOOR FRAMING INSPECTION	BUILDING
FLOOR FRAMING INSPECTION	REQUIRED PRIOR TO PLACING FLOOR SHEETING AND INCLUDES FOOTING DRAIN INSPECTION.	BUILDING
SHEAR WALL	AFTER THE BUILDING IS UP TO THE SQUARE AND ALL SHEAR WALLS HAVE BEEN NAILED AND ALL OF THE TIE DOWNS AND SHEAR WALL CONNECTIONS HAVE BEEN INSTALLED.	BUILDING
FIRE SPRINKLERS	REQUIRED PRIOR TO FOUR WAY INSPECTION. WHEN REQUIRED BY THE LOCAL FIRE DISTRICT.	BUILDING
FOUR WAY	THIS INSPECTION IS PERFORMED AFTER ALL ROUGH ELECTRICAL, PLUMBING AND MECHANICAL HAS BEEN INSTALLED. ALL FRAMING IS COMPLETE, SHEAR WALLS PREVIOUSLY INSPECTED, AND TRUSS SPECIFICATIONS ARE ON JOBSITE FOR INSPECTOR TO READ.	BUILDING
WEATHER BARRIER / STUCCO LATH	WEATHER BARRIER SHALL BE INSPECTED PRIOR TO INSTALLING VENEER. APPROVED STUCCO I.C.C. RESEARCH REPORTS ON SITE.	BUILDING
GAS METER SET	REQUIRED BEFORE GAS METER CLEARANCE IS GIVEN TO QUESTAR	BUILDING
MASONRY WALL / BOND BEAM	STEEL IN MASONRY AND BEFORE CONCRETE / GROUT IS POURED BUILDING INSULATION PRE-SHEETROCK INSULATION CERTIFICATE REQUIRED	BUILDING
DRY WALL NAILING	THIS IS DONE BEFORE DRYWALL IS TAPED	BUILDING
POWER TO PANEL	BUILDING MUST BE UP WITH PERMANENT ROOF INSTALLED	BUILDING
DRIVEWAY PRE-SURFACING	SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND DRIVEWAY GRADED TO ITS FINAL CONFIGURATION	ENGINEERING
FINAL DRIVEWAY SITE INSPECTION	REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE. DRIVEWAY MUST BE SURFACED AND SITE MUST BE REVEGETATED (INSPECTIONS MAY BE SCHEDULED SEPARATELY)	ENGINEERING
FLOOD PLAIN ELEVATION CERTIFICATE	FEMA ELEVATION CERTIFICATE (IF APPLICABLE) REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY. FORM MUST BE FILED WITH FEMA AND A COPY PROVIDED TO THE ENGINEERING DEPARTMENT	ENGINEERING
FINAL	ALL WORK IS DONE AND BUILDING COMPLETE	BUILDING
CERTIFICATE OF OCCUPANCY	REQUIRED PRIOR TO ANYONE OCCUPYING THE STRUCTURE. A CERTIFICATE OF OCCUPANCY WILL BE ISSUED ONCE THE FINAL CLEARANCES HAVE BEEN OBTAINED BY THE BUILDER AND BROUGHT TO THE BUILDING DEPARTMENTS OFFICE IN COALVILLE. 1) SNYDERVILLE BASIN RESIDENTIAL - FINAL FROM BUILDING DEPARTMENT, FINAL FROM ENGINEERING DEPARTMENT, FINAL LETTER FROM SNYDERVILLE BASIN WATER RECLAMATION DISTRICT, FINAL WATER CONCURRENCY LETTER FROM APPROPRIATE WATER COMPANY, FINAL FROM PARK CITY FIRE DISTRICT (ON REQUIRED SUBDIVISIONS). 2) EASTERN SUMMIT COUNTY - FINAL FROM BUILDING DEPARTMENT, FINAL FROM ENGINEERING DEPARTMENT, FINAL FROM FIRE DISTRICT, AND FINAL FROM HEALTH DEPARTMENT.	BUILDING

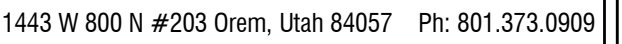
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2	03/11/2021	
3	03/11/2021	
4	03/11/2021	
5	03/11/2021	
6	03/11/2021	

EROSION CONTROL & DETAILS

Scale: 1"=10'
Date: 03/11/2021
Sheet:
Drawn: TS/JMJ
Job #: 21-0102

SP-2





Red Ledges, Lot 29 Heber, Utah

18 x 24 (sheet size): NO SCALE
24 x 36 (sheet size): 1"=10'-0"

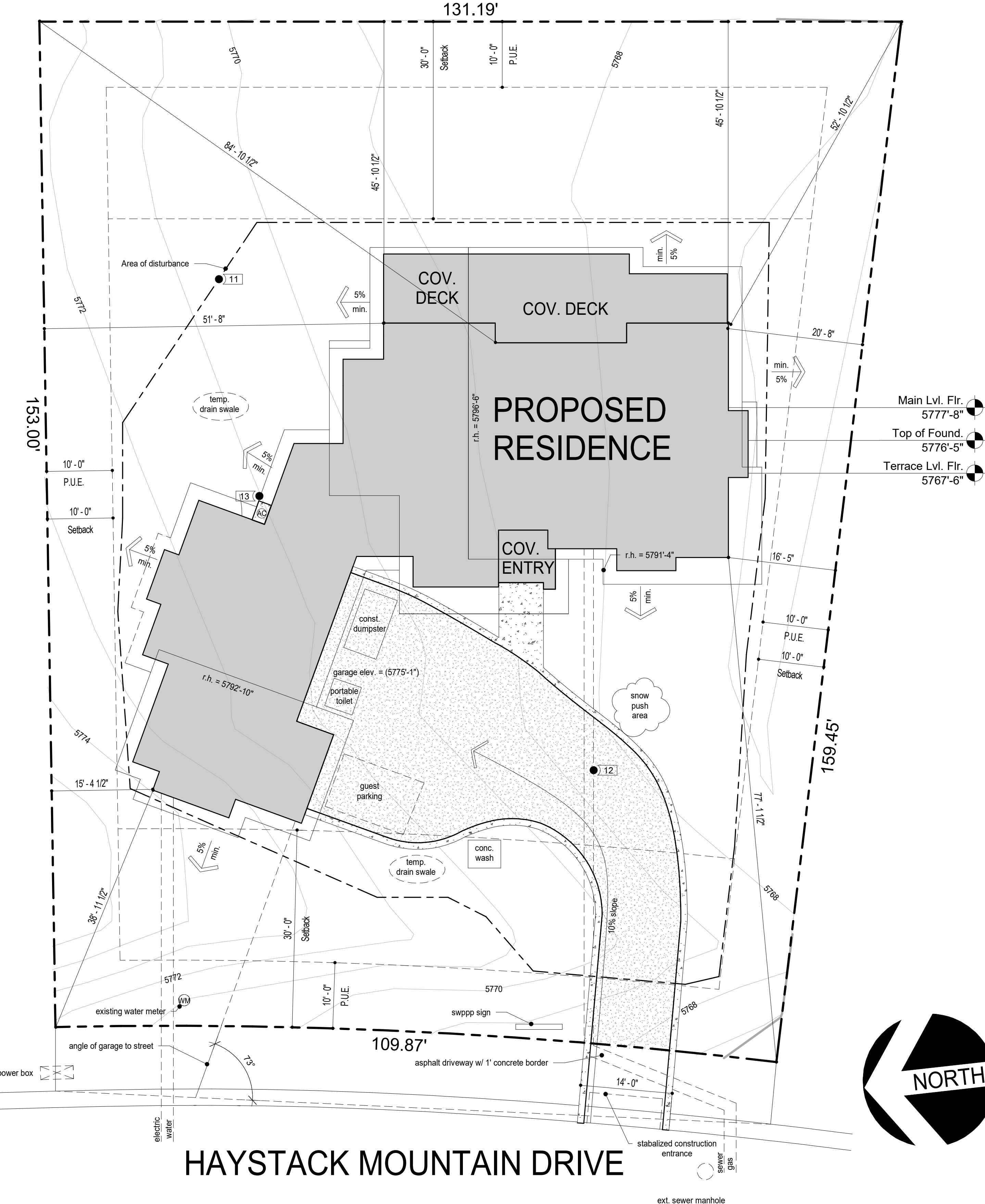
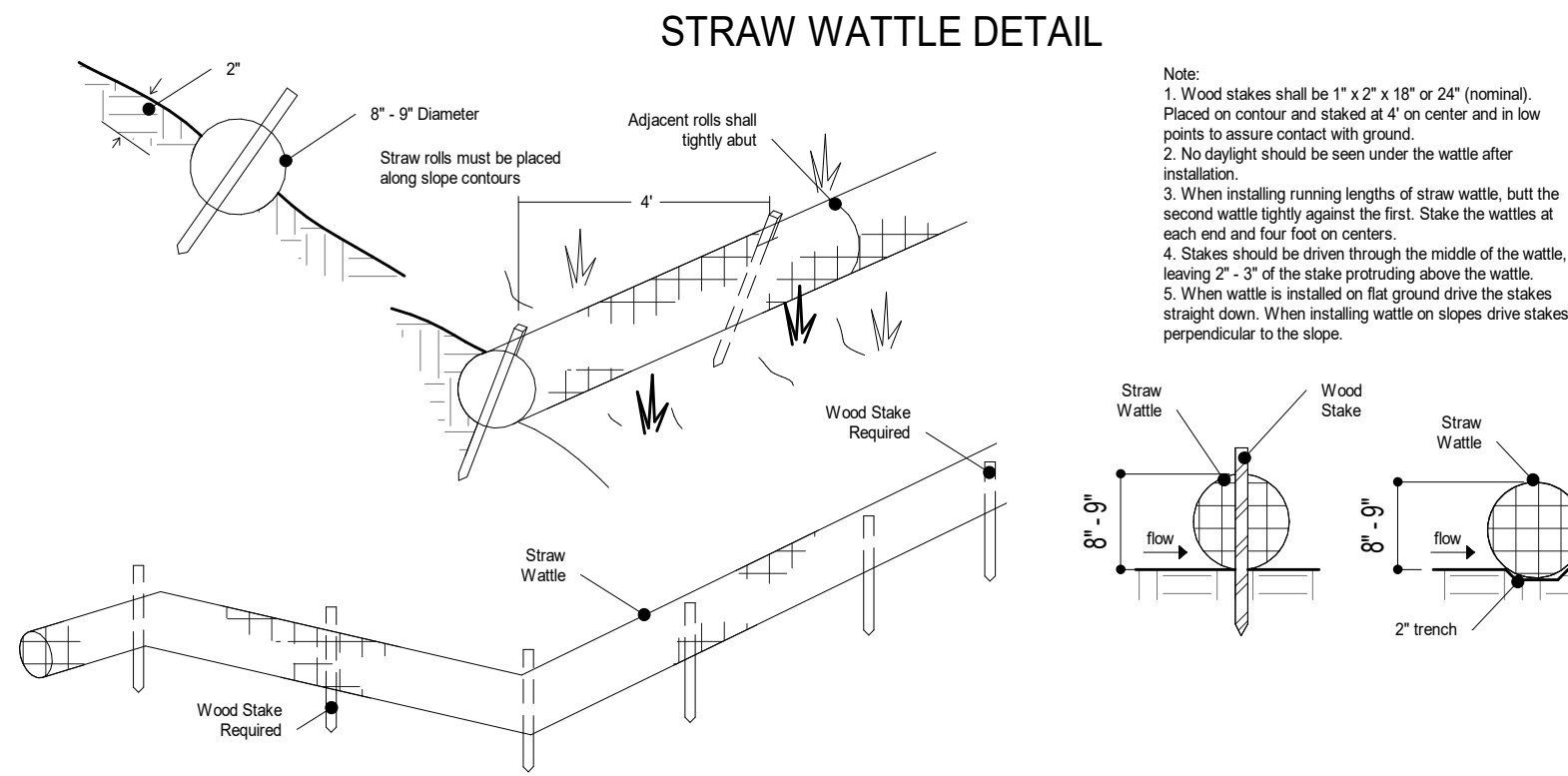
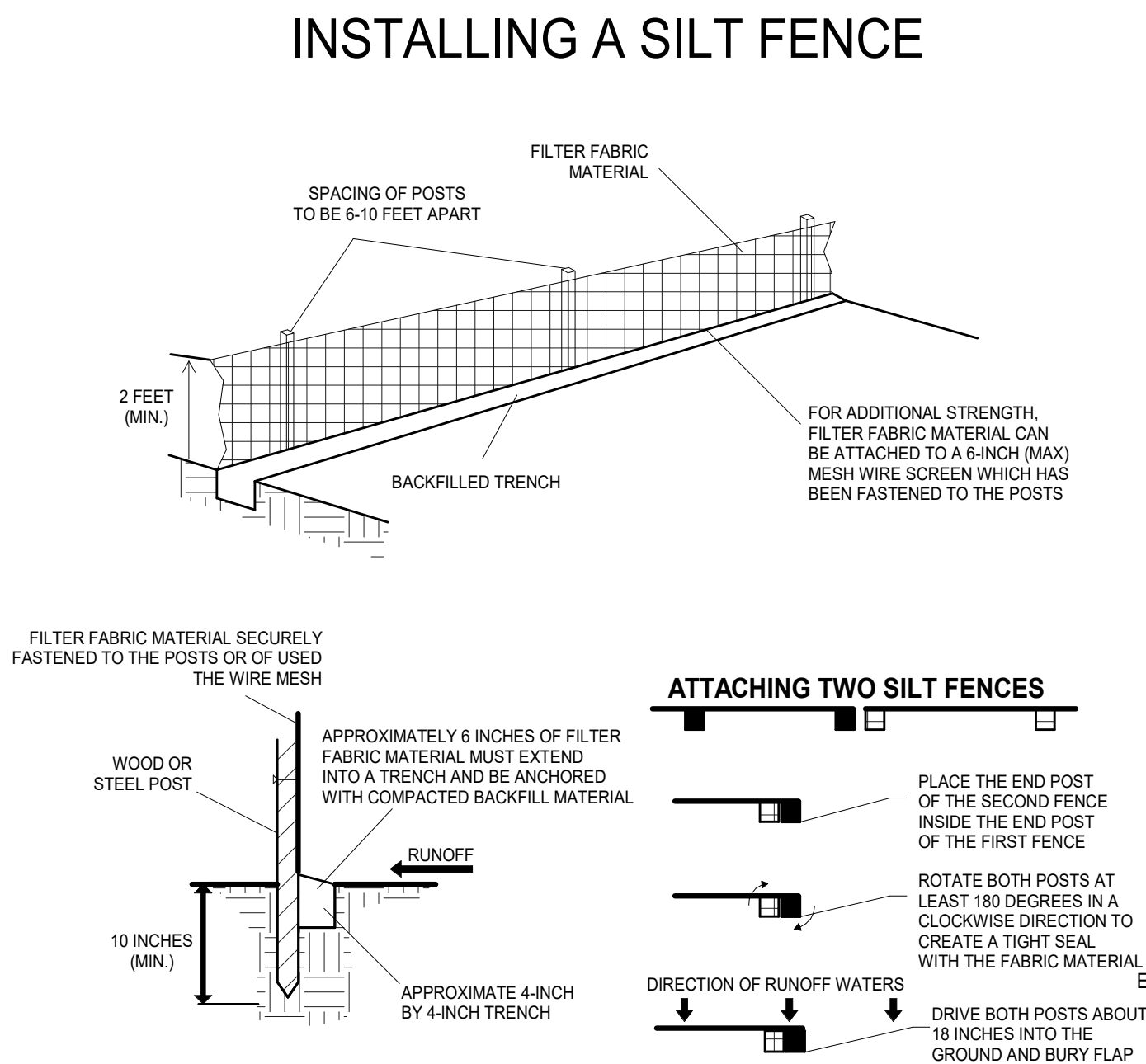
19 March 2021

PHOTO IMAGE OF SITE



City	Heber, Utah
State	Utah
Phase	1
Lot	Lot 29
Subdivision	Red Ledges
Address	530 N. Haystack Mtn. Dr.

Required Inspections Table		
Inspection	Description/Requirements	Contact
Driveway/ Site Staking	Required prior to issuance of a Building Permit. Locate/ stake the driveway at the street and at the road right of way/property line and locate/stake all property corners with a 4 foot steel fence post.	Engineering
Rough Grading	Required prior to scheduling a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.	Engineering
Footing	Schedule after steel is in place and before the concrete is poured.	Building
Foundation	Schedule after steel is in place in the forms and before concrete is placed.	Building
Under Slab Plumbing & Heating	Before concrete is poured or plumbing has been backfilled.	Building
Certificate of Elevation and/or survey	Performed by a licensed surveyor. Required prior to scheduling a Floor Framing Inspection. See requirements below.	Building
Floor Framing Inspection	Required prior to placing floor sheeting and includes Footing Drain inspection.	Building
Shear Wall	After the building is up to "the square" and all shear walls have been nailed and all the tie downs and shear wall connections have been installed.	Building
Fire Sprinklers	Required prior to a four-way inspection, when required by the local Fire District.	Building
Four-Way	This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, shear walls previously inspected, and truss specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.	Building
Weather Barrier/ Stucco Lath	Weather barrier shall be inspected prior to applying veneer. Approved stucco I.C.C. research reports on site.	Building
Gas Meter Set	Required before gas meter clearance is given to Questar.	Building
Masonry wall/ bond team	Steel in masonry and before concrete/ grout is poured.	Building
Insulation	Pre Sheetrock insulation certificate required.	Building
Drywall Nailing	This is done before drywall is taped.	Building
Power to Panel	Building must be up with permanent roof installed.	Building
Driveway pre-surfacing	Site Erosion Control measures must be installed and driveway graded to it's final configuration.	Engineering
Final Driveway and Site Inspection	Required prior to Certificate of Occupancy and/or Bond Release. Driveway must be surfaced and site must be revegetated (inspections may be scheduled separately.) If the site is not revegetated, the erosion conrol measures must be in place and installed correctly.	Engineering
Flood Plain Elevation Certificate	FEMA Elevation Certificate (if applicable) required prior to certificate of Occupancy. Form must be filed with FEMA and a copy provided to Engineering Department.	Engineering
Final	All work is DONE and building complete. Final clearances from the waste water district for sewer, County Health Department for septic, and fire district for sprinkler systems must be on the project for this inspection. Required for Certificate of Occupancy.	Building
Certificate of Occupancy	Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office in Coalville. 1) Snyderville Basin Residential: Final from Building Department, Final from Engineering Department, Final letter from Snyderville Basin Water Reclamation District, Final water concurrency letter from appropriate water company, Final from Park City Fire District (in required subdivision). 2) Eastern Summit County: Final from Building Department, Final from Engineering Department, Final from Fire District and Final from Health Department.	Building
ECP Bod Release Inspection	Required to verify that the site has been fully stabilized (revegetated). Inspection is required prior to applicant receiving a release of their Erosion Control Bond. Applicant must provide a written request for the release of the bond.	Engineering



GENERAL & KEYED NOTES

Note: All disturbed areas to be re-seeded/ irrigated using Red Ledges Mix 1 as per ARC. All trees to be removed to be approved by the ARC. (Consider relocation) Silt fence to border Area of Disturbance.



Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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18 x 24 (sheet size): NO SCALE
24 x 36 (sheet size): 1"= 10'-0"

Project 20089

19 March 2021

C2.2

LANDSCAPE PLAN

Deciduous Trees
Min. Size 3" cal.

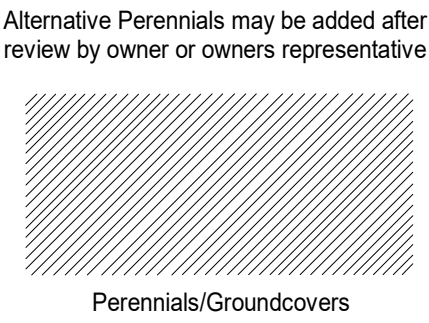
Ginnala Maple
Rocky Mtn. Maple
Bigtooth Maple
Mountain Mahogany
Gambel Oak
Utah Serviceberry
Chokecherry
Thinleaf Alder
Acer Ginnala
Acer Glabrum
Acer Grandidentatum
Cercocarpus Montanus
Quercus Gambelli
Amelanchier Utahensis
Prunus Virginiana
Alnus Tenuifolia

Evergreen Trees
Min. size 14'

Bristle Cone
Pinyone Pine
Rocky Mtn. Juniper
PinePinus Aristata
Pinus Edulis
Juniperus Scopulorum

Perennials/Groundcovers
1 gal. containers

Aspen Bulebell
Marshall's Bee Balm
Black-Eyed Susan
Blue Cranesbill
Blue Salvia
Columbine
Columbine Rocky Mountain
Coral Bells
Coreopsis Species
Shasta Daisy
Duncecap Larkspur
Dwarf Blanket Flower
Kinnikinnick
Kobold Gayfeather
Larkspur Species
Lupine
Red Oriental Poppy
Penstemon
Perennial Bachelor Buttons
Purple Cone Flower
Red Columbine
Scarlet Gilla
Siberian Iris
Snow-in-Summer
Sticky Purple Geranium
Stonecrop
Sweet Woodruff
Yarrow
Mertensia Arizona
Monarda 'Marsha's Delight'
Rudbeckia Fulgida 'Goldstrum'
Geranium Endressi 'Johnson's Blue'
Salvia Superba
Aquilegia x McKana
Aquilegia 'Gaerules'
Heuchera s. 'splendens'
Coreopsis spp.
Leucanthemum s. 'Alaska'
Delphinium x Occidentale
Gallardia x Grandiflora 'Goblin'
Archostaphylyus uva-ursi
Liatris Spicata 'Kobold'
Delphinium spp.
Lupinus spp.
Papaver Orientale
Penstemon spp.
Centaurea Montana
Echinacea Purpurea
Aquilegia 'Crimson Star'
Ipomopsis Aggregate
Iris Siberica
Cerastium Tometosum
Geranium Viscosissimum
Sedum Acre
Galium Odonatum
Achillea spp.



Seeded Areas

Hard Fescue	Festuca ovina "duriscala"	3.00lbs/ acre
Big Bluegrass	Poa ampla	2.00lbs/ acre
Blue Wildrye	Elymus glaucus	2.00lbs/ acre
Slender Wheatgrass	Elymus trachycaulus	5.00lbs/ acre
Sheep fescue	Festuca tachyphylla	3.00lbs/ acre
Mountain Brome	Bromus carinatus	4.00lbs/ acre
Blue Flax	Linum lewisii	0.50lbs/ acre
Sulphur Flower	Eriogonum umbellatum	0.25lbs/ acre
Beard Tongue	Penstemon strictus	0.50lbs/ acre
Bitter Brush	Purshia tridentate	1.00lbs/ acre
Basin Sagebrush	Artemisida tridentate	0.25lbs/ acre
Total lbs./acre		21.50

Seeded areas include all disturbed areas not covered by hardscape or other plantings.

Deciduous Trees
Min. Size 3"-4" cal.

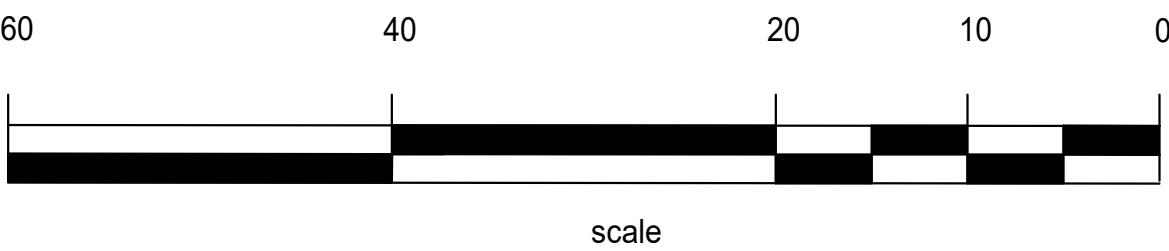
Acer Grandidentatum / Bigtooth Maple
4 provided
Quercus Gambelli/ Gambel Oak
4 provided

Evergreen Trees
Min. size 6'

Pinus Edulis / Pinyone Pine
4 provided
Juniperus Scopulorum / Rocky Mtn. Juniper
4 provided

Shrubs
3-5 gal. cont.

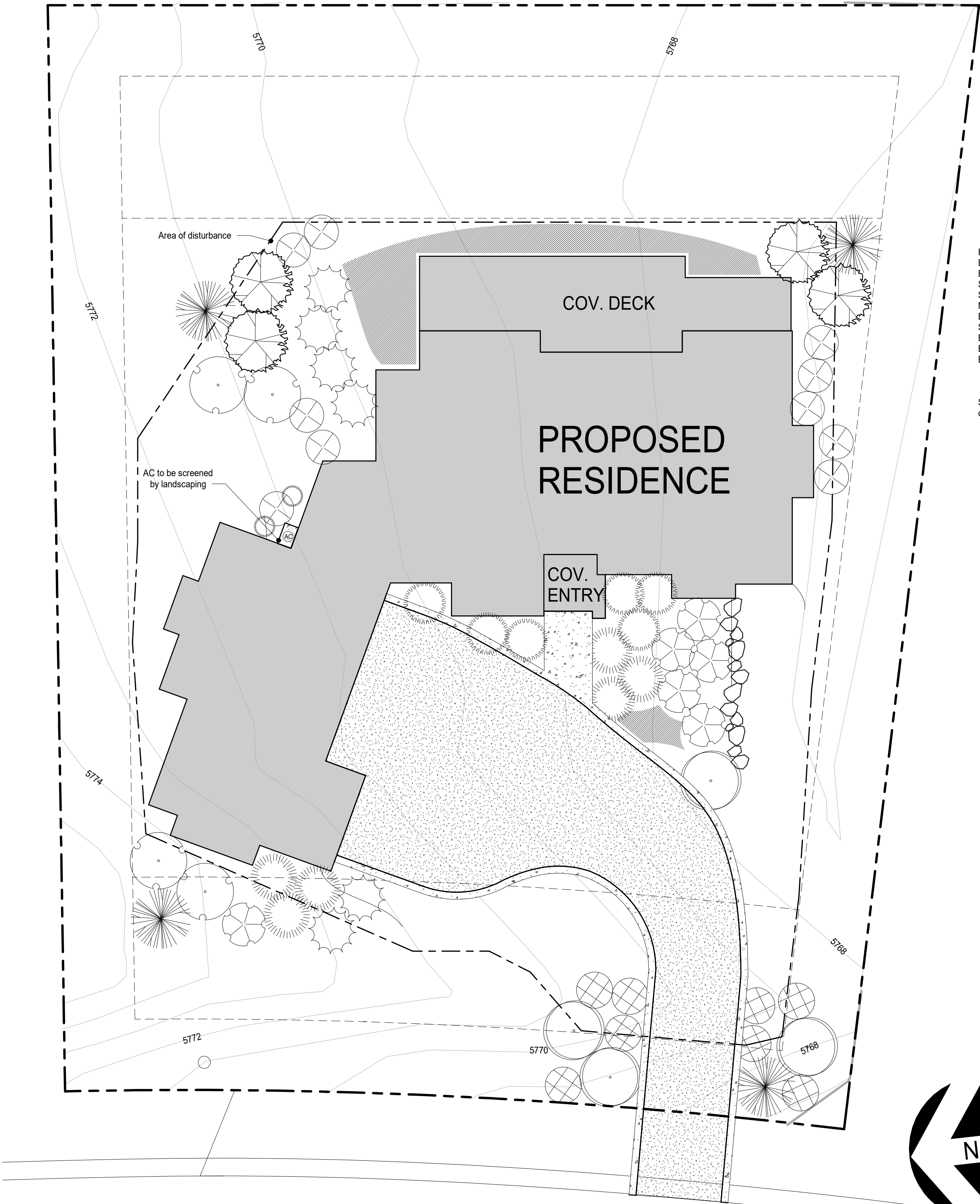
Amelanchier spp. / Serviceberry
8 provided
Symphoricarpos Oreophilus/ Mountain Snowberry
9 provided
Potentilla spp. / Potentilla
6 provided
Ribes Alpinum/ Currant Spp.
6 provided
Artemisia spp. / Sage
7 provided
Cowania Mexicana/ Cliff Rose
6 provided



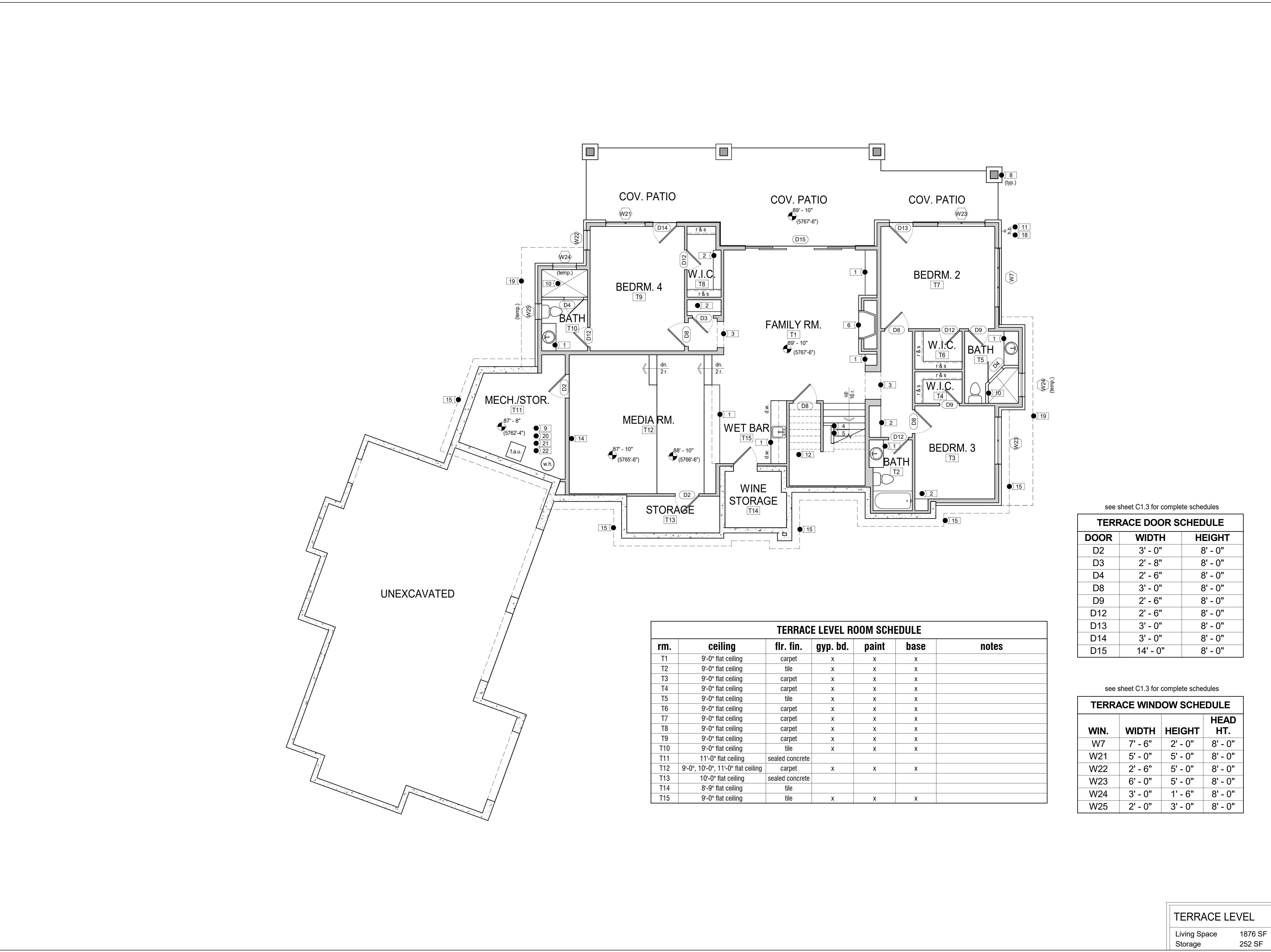
SUBDIVISION INFORMATION

City	Heber, Utah
State	Utah
Phase	1
Lot	Lot 29
Subdivision	Red Ledges
Address	530 N. Haystack Mtn. Dr.

Existing Vegetation Note:
A determination regarding the existing vegetation located within the bounds of the site as shown hereon will be decided once the footprint for the proposed structure according to the approved Site Plan has been staked and identified on the ground for review and approval of ARC during the On-Site Pre-Construction meeting. Trees will not be allowed to be removed.



HAYSTACK MOUNTAIN DRIVE



TERRACE LEVEL ROOM SCHEDULE						
rm.	ceiling	flr. fin.	gyp. bd.	paint	base	notes
T1	9'-0" flat ceiling	carpet	x	x	x	
T2	9'-0" flat ceiling	tile	x	x	x	
T3	9'-0" flat ceiling	carpet	x	x	x	
T4	9'-0" flat ceiling	carpet	x	x	x	
T5	9'-0" flat ceiling	tile	x	x	x	
T6	9'-0" flat ceiling	carpet	x	x	x	
T7	9'-0" flat ceiling	carpet	x	x	x	
T8	9'-0" flat ceiling	carpet	x	x	x	
T9	9'-0" flat ceiling	carpet	x	x	x	
T10	9'-0" flat ceiling	tile	x	x	x	
T11	11'-0" flat ceiling	sealed concrete				
T12	9'-0", 10'-0", 11'-0" flat ceiling	carpet	x	x	x	
T13	10'-0" flat ceiling	sealed concrete				
T14	8'-9" flat ceiling	tile				
T15	9'-0" flat ceiling	tile	x	x	x	

see sheet C1.3 for complete schedules

TERRACE DOOR SCHEDULE		
DOOR	WIDTH	HEIGHT
D2	3' - 0"	8' - 0"
D3	2' - 8"	8' - 0"
D4	2' - 6"	8' - 0"
D8	3' - 0"	8' - 0"
D9	2' - 6"	8' - 0"
D12	2' - 6"	8' - 0"
D13	3' - 0"	8' - 0"
D14	3' - 0"	8' - 0"
D15	14' - 0"	8' - 0"

see sheet C1.3 for complete schedules

TERRACE WINDOW SCHEDULE			
WIN.	WIDTH	HEIGHT	HEAD HT.
W7	7' - 6"	2' - 0"	8' - 0"
W21	5' - 0"	5' - 0"	8' - 0"
W22	2' - 6"	5' - 0"	8' - 0"
W23	6' - 0"	5' - 0"	8' - 0"
W24	3' - 0"	1' - 6"	8' - 0"
W25	2' - 0"	3' - 0"	8' - 0"

TERRACE LEVEL	
Living Space	1876 SF
Storage	252 SF

- # GENERAL & KEYED NOTES
- 1 Built-in cabinetry as per owner
 - 2 Built-in shelving as per owner
 - 3 Square cased opening w/ top @ 8'-0"
 - 4 Provide handrail from nosing of top stair to nosing of bottom stair as per IRC
 - 5 Provide 36" (min.) guardrail as per IRC & owner
 - 6 Provide 36" or 42" direct vent gas fireplace as per owner
 - 7 Provide tile pan & floor drain for washer & dryer
 - 8 12" x 12" stone column w/ finish as per owner
 - 9 Provide flue as req'd
 - 10 Provide tempered glass for shower door and enclosure as req'd
 - 11 Non-freeze type hose bib w/ backflow preventers installed
 - 12 Provide 5/8" type 'x' gyp. bd. under stairs as per IRC
 - 13 Provide safety glazing as per IRC 308.4
 - 14 Drop down projector screen as per owner
 - 15 Provide perimeter drain as req'd
 - 16 All interior walls to be insulated as per owner
 - 17 Stone over concrete as per owner & IRC
 - 18 Provide hose bib at front & rear of the dwelling as req'd
 - 19 Line of roof above
 - 20 Provide exterior combustion air as per IRC
 - 21 Provide 2" step down into mech. rm.
 - 22 Provide approved seismic strap for water heaters as per IRC



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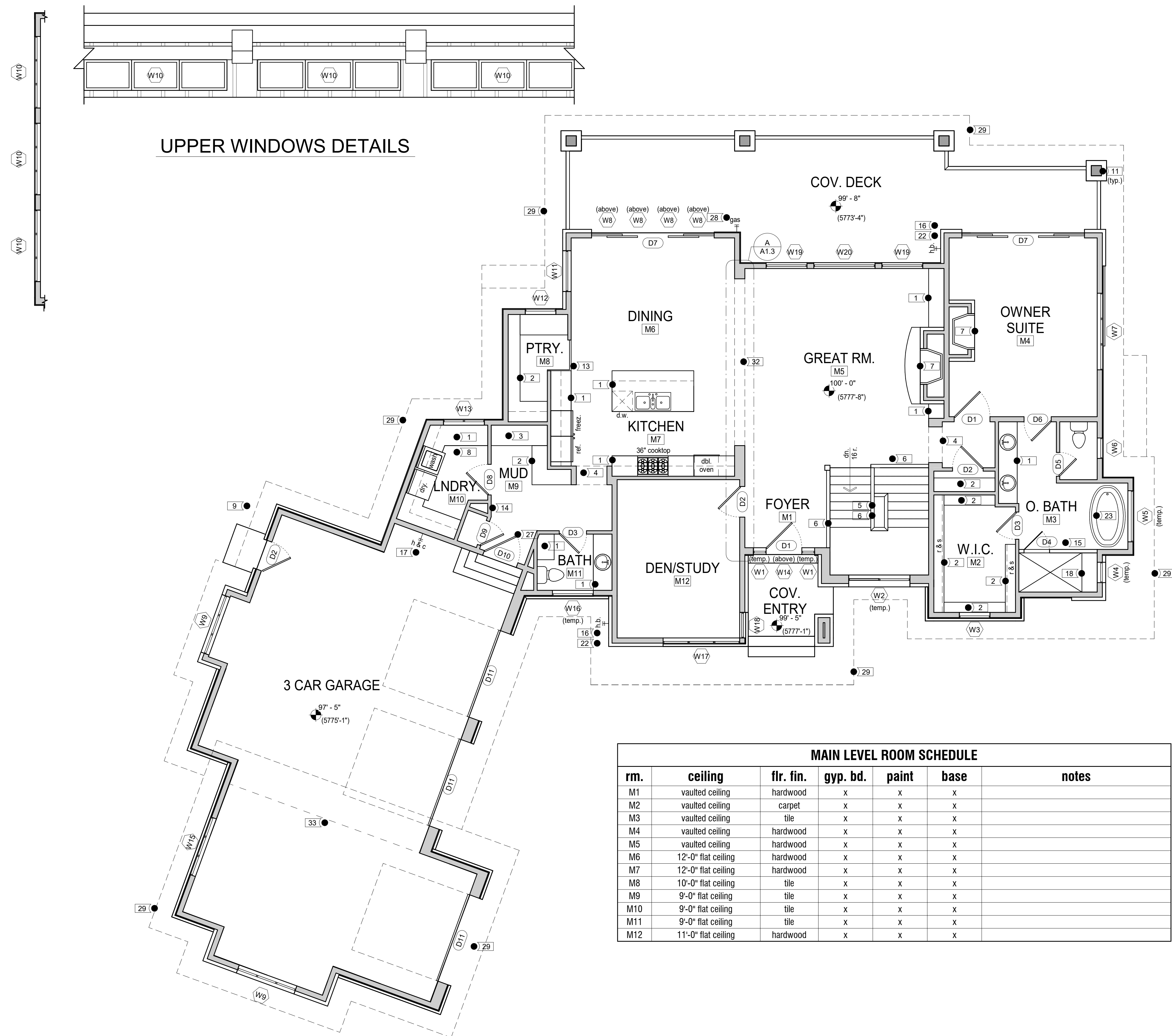
Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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24 x 36 (sheet size):3/16"=1'-0"

Project 20089	A1.1
19 March 2021	



see sheet C1.3 for complete schedules

MAIN LEVEL DOOR SCHEDULE		
DOOR	WIDTH	HEIGHT
D1	3' - 6"	8' - 0"
D2	3' - 0"	8' - 0"
D3	2' - 8"	8' - 0"
D4	2' - 6"	8' - 0"
D5	2' - 4"	8' - 0"
D6	2' - 8"	8' - 0"
D7	12' - 0"	8' - 0"
D8	3' - 0"	8' - 0"
D9	2' - 6"	8' - 0"
D10	3' - 6"	8' - 0"
D11	9' - 0"	9' - 0"

see sheet C1.3 for complete schedules

MAIN LEVEL WINDOW SCHEDULE			
WIN.	WIDTH	HEIGHT	HEAD HT.
W1	1' - 3"	8' - 0"	8' - 0"
W2	6' - 0"	8' - 0"	10' - 0"
W3	3' - 0"	5' - 0"	8' - 0"
W4	2' - 0"	1' - 6"	8' - 0"
W5	5' - 0"	5' - 0"	8' - 0"
W6	2' - 0"	3' - 0"	8' - 0"
W7	7' - 6"	2' - 0"	8' - 0"
W8	3' - 0"	2' - 0"	10' - 0"
W9	6' - 0"	5' - 0"	8' - 0"
W10	7' - 0"	1' - 6"	4' - 8"
W11	4' - 0"	8' - 0"	10' - 0"
W12	3' - 0"	4' - 6"	8' - 0"
W13	4' - 0"	4' - 6"	8' - 0"
W14	6' - 0"	2' - 0"	10' - 0"
W15	6' - 0"	3' - 0"	8' - 0"
W16	4' - 0"	2' - 0"	8' - 0"
W17	7' - 6"	8' - 0"	10' - 0"
W18	2' - 6"	8' - 0"	10' - 0"
W19	4' - 0"	8' - 6"	10' - 6"
W20	6' - 0"	8' - 6"	10' - 6"

MAIN LEVEL ROOM SCHEDULE						
rm.	ceiling	flr. fin.	gyp. bd.	paint	base	notes
M1	vaulted ceiling	hardwood	x	x	x	
M2	vaulted ceiling	carpet	x	x	x	
M3	vaulted ceiling	tile	x	x	x	
M4	vaulted ceiling	hardwood	x	x	x	
M5	vaulted ceiling	hardwood	x	x	x	
M6	12'-0" flat ceiling	hardwood	x	x	x	
M7	12'-0" flat ceiling	hardwood	x	x	x	
M8	10'-0" flat ceiling	tile	x	x	x	
M9	9'-0" flat ceiling	tile	x	x	x	
M10	9'-0" flat ceiling	tile	x	x	x	
M11	9'-0" flat ceiling	tile	x	x	x	
M12	11'-0" flat ceiling	hardwood	x	x	x	

- ## ● # GENERAL & KEYED NOTES

- 1 Built-in cabinetry as per owner
- 2 Built-in shelving as per owner
- 3 Provide locker system as per owner
- 4 Square cased opening w/ top @ 8'-0"
- 5 Provide handrail from nosing of top stair to nosing of bottom stair as per IRC
- 6 Provide 36" (min.) guardrail as per IRC & owner
- 7 Provide 36" or 42" direct vent gas fireplace as per owner
- 8 Provide tile pan & floor drain for washer & dryer
- 9 36" x 36" (min.) landing outside all exterior doors
- 10 Provide pot filler as per owner
- 11 12" x 12" timber column w/ stone base as per owner
- 12 Provide (2) layers 1/2" type 'x' gyp. bd. @ clg. & (1) layer 5/8" type 'x' gyp. bd. @ house walls
- 13 Provide secret passage built into cabinetry as per owner
- 14 Provide flue as req'd
- 15 Provide tempered glass for shower door and enclosure as req'd
- 16 Non-freeze type hose bib w/ backflow preventers installed
- 17 Provide hot & cold mixing valve
- 18 Provide tiled bench in shower as per owner
- 19 Provide safety glazing as per IRC 308.4
- 20 All exterior walls to be insulated as per owner
- 21 Stone over concrete as per owner & IRC
- 22 Provide hose bib at front & rear of the dwelling as req'd
- 23 Freestanding tub as per owner
- 24 Slope concrete slab 4" to doors
- 25 All penetrations (plumbing, water, vacuum, etc.) through garage fire wall to be w/ metal piping
- 26 Provide gas meter as per code
- 27 This door to be metal, 20 min. fire-rated w/ self-closing hinge as per IRC
- 28 Provide gas line for outdoor BBQ as per IRC & owner
- 29 Line of roof overhang
- 30 Provide power meter as per code
- 31 Provide a/c units and pads as per code
- 32 Square cased opening w/ top @ 10'-0"
- 33 Line of ceiling transition above



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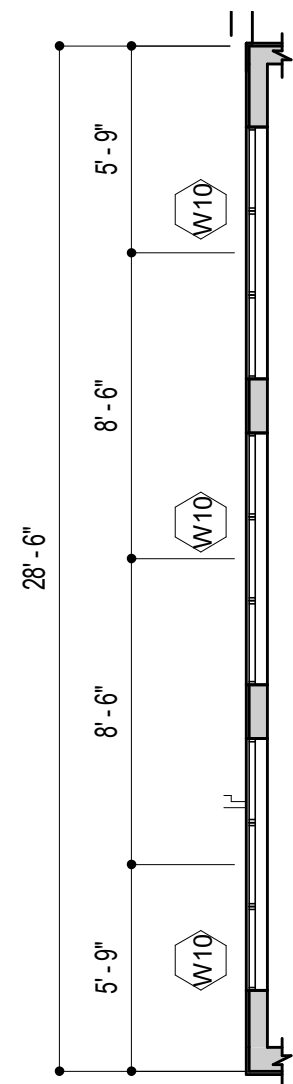
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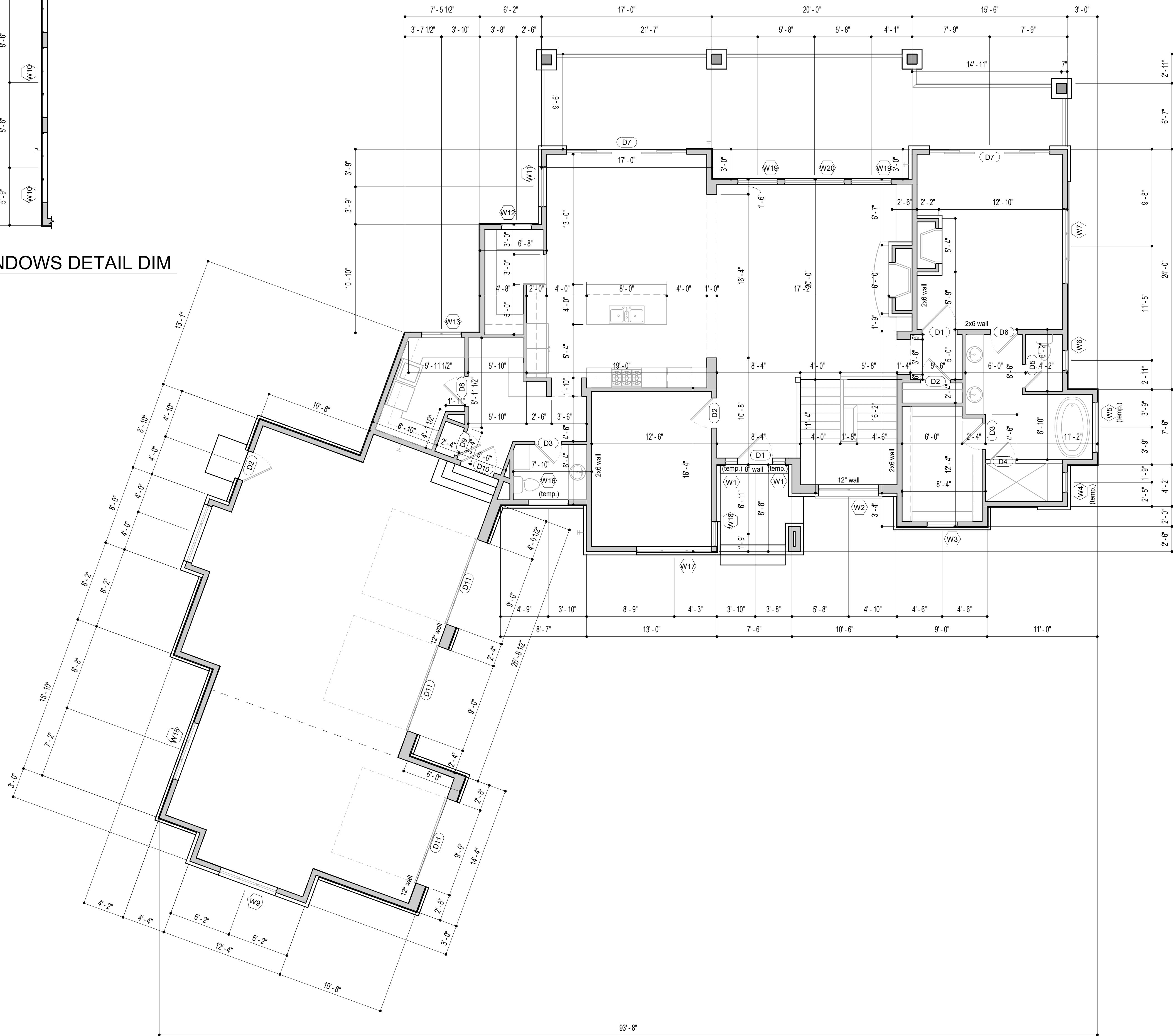
A1.3

MAIN LEVEL FLOOR PLAN

MAIN LEVEL	
Garage Space	1136 SF
Living Space	2142 SF



UPPER WINDOWS DETAIL DIM



GENERAL & KEYED NOTES

see sheet C1.3 for complete schedules

MAIN LEVEL DOOR SCHEDULE		
DOOR	WIDTH	HEIGHT
D1	3' - 6"	8' - 0"
D2	3' - 0"	8' - 0"
D3	2' - 8"	8' - 0"
D4	2' - 6"	8' - 0"
D5	2' - 4"	8' - 0"
D6	2' - 8"	8' - 0"
D7	12' - 0"	8' - 0"
D8	3' - 0"	8' - 0"
D9	2' - 6"	8' - 0"
D10	3' - 6"	8' - 0"
D11	9' - 0"	9' - 0"

see sheet C1.3 for complete schedules

MAIN LEVEL WINDOW SCHEDULE			
WIN.	WIDTH	HEIGHT	HEAD HT.
W1	1' - 3"	8' - 0"	8' - 0"
W2	6' - 0"	8' - 0"	10' - 0"
W3	3' - 0"	5' - 0"	8' - 0"
W4	2' - 0"	1' - 6"	8' - 0"
W5	5' - 0"	5' - 0"	8' - 0"
W6	2' - 0"	3' - 0"	8' - 0"
W7	7' - 6"	2' - 0"	8' - 0"
W8	3' - 0"	2' - 0"	10' - 0"
W9	6' - 0"	5' - 0"	8' - 0"
W10	7' - 0"	1' - 6"	4' - 8"
W11	4' - 0"	8' - 0"	10' - 0"
W12	3' - 0"	4' - 6"	8' - 0"
W13	4' - 0"	4' - 6"	8' - 0"
W14	6' - 0"	2' - 0"	10' - 0"
W15	6' - 0"	3' - 0"	8' - 0"
W16	4' - 0"	2' - 0"	8' - 0"
W17	7' - 6"	8' - 0"	10' - 0"
W18	2' - 6"	8' - 0"	10' - 0"
W19	4' - 0"	8' - 6"	10' - 6"
W20	6' - 0"	8' - 6"	10' - 6"



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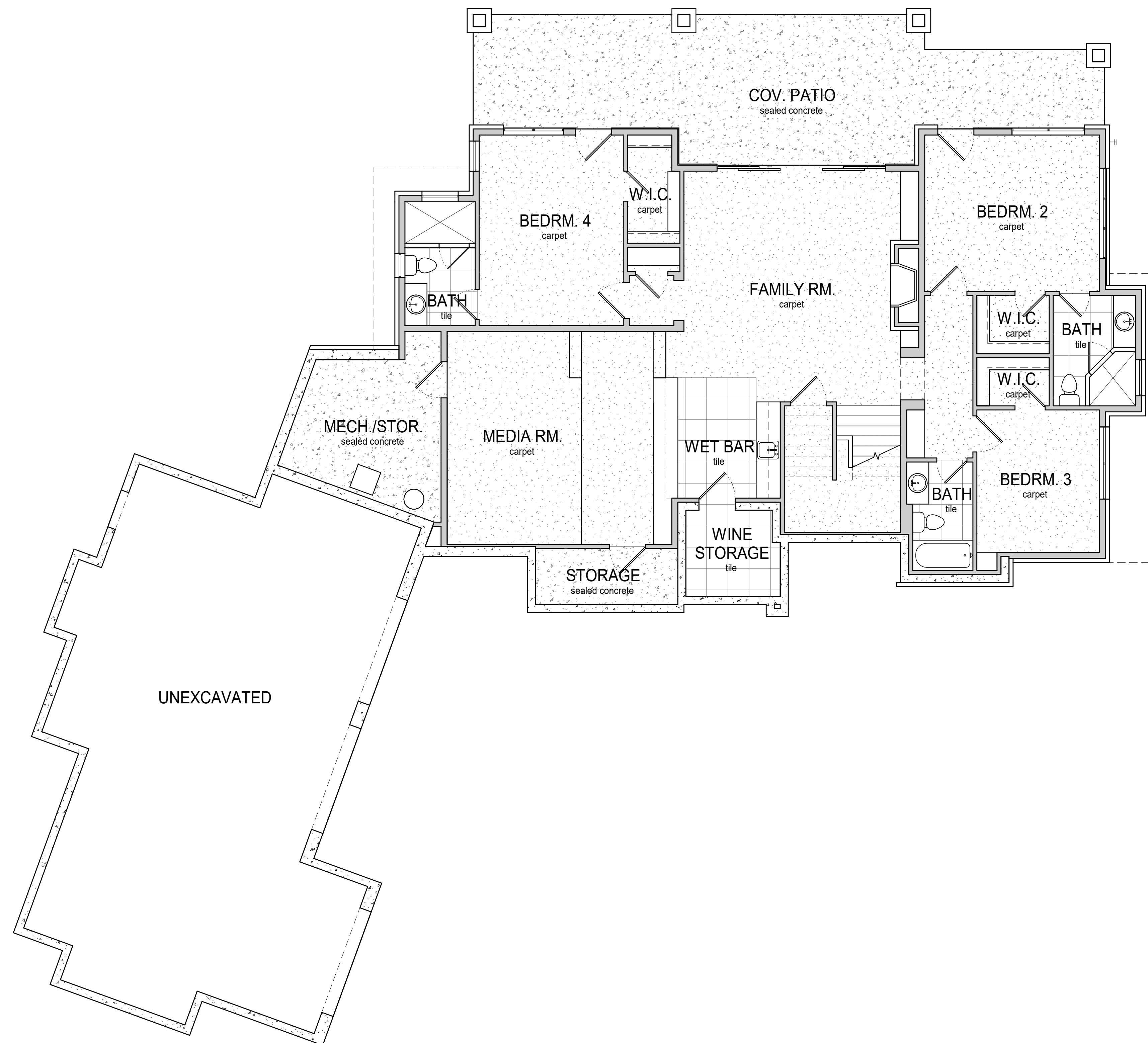
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A1.4

MAIN LEVEL DIMENSION PLAN

GENERAL & KEYED NOTES



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Lot 29

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A2.1

TERRACE LEVEL REFL. FLOOR PLAN



GENERAL & KEYED NOTES



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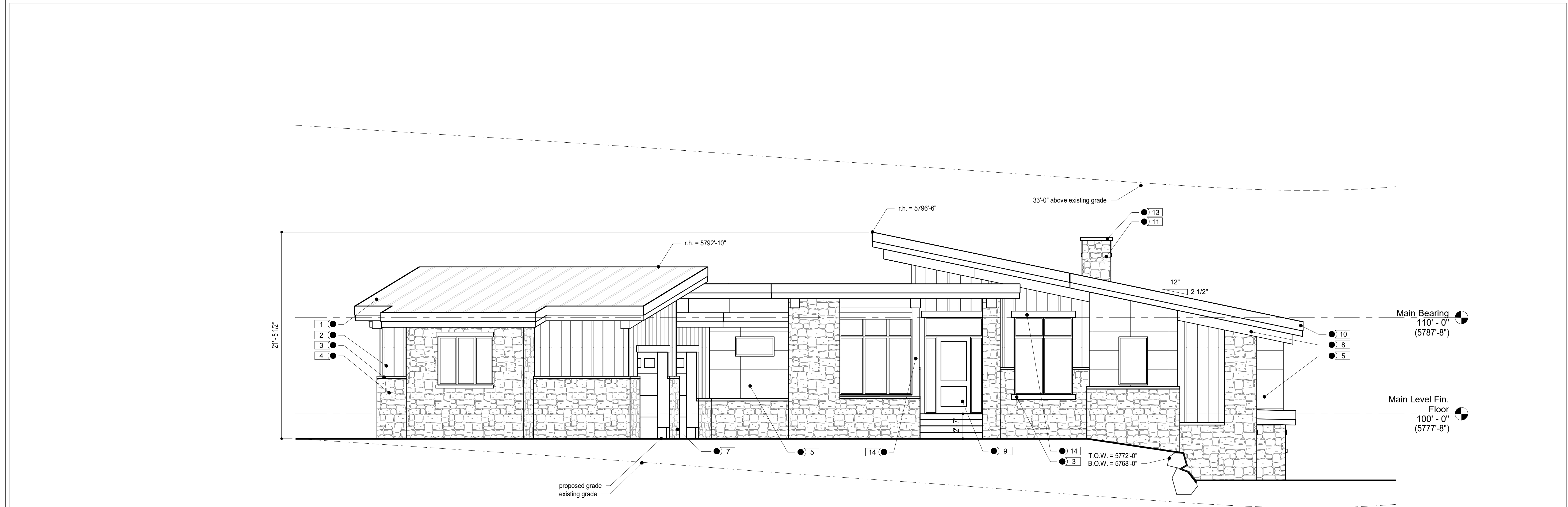
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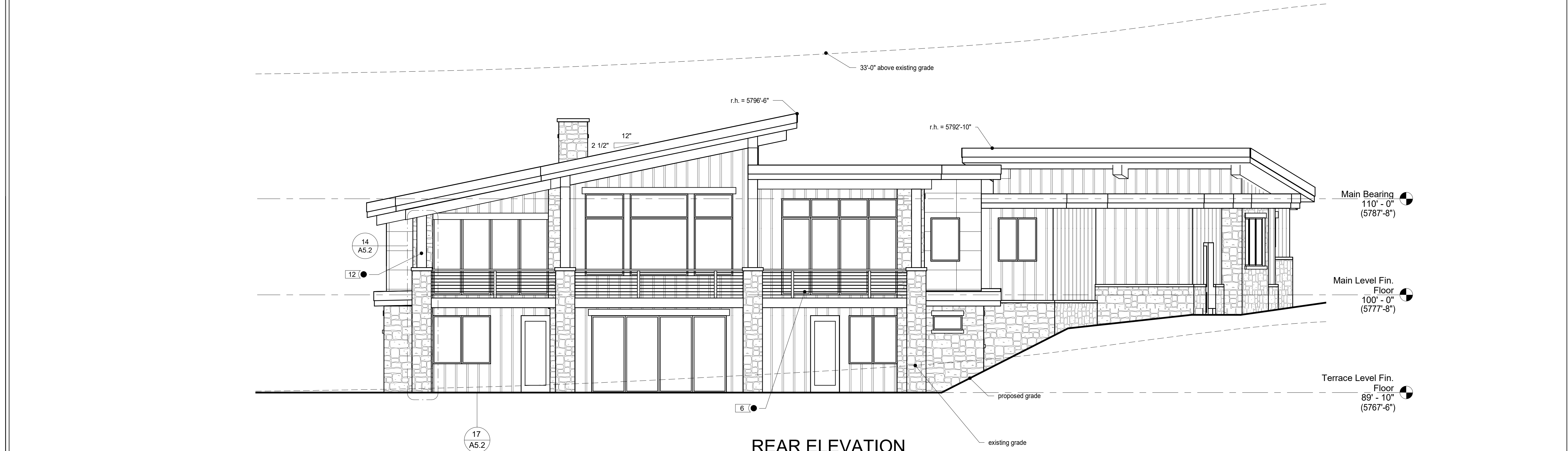
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A2.2

MAIN LEVEL REFL. FLOOR PLAN



FRONT ELEVATION



REAR ELEVATION

● # GENERAL & KEYED NOTES

- 1 Standing seam charcoal steel roof as per owner, see materials & color board
- 2 "Trussle wood nature aged reclaimed" 2x nominal board & batten siding as per owner & IRC R703.3, see materials & color board
- 3 Masonry wainscot cap sill as per owner
- 4 4" Natural Limestone veneer as per owner w/ 22 ga. ties @ 16" o.c. each way, see materials and color board
- 5 Corten steel siding, see material & color board
- 6 Provide 36" (min.) black steel guardrail as per owner, see materials & color board.
- 7 Wood panel garage door as per owner. See material & color board
- 8 Provide timber support beams w/ finish as per owner. See materials and clolor board
- 9 Doors & windows as per floor plans, schedules, & owner
- 10 12" cedar fascia w/ vented soffit as per owner
- 11 Decorative shrouds shall not be installed at the termination of factory built chimneys except where the shrouds are listed and labeled for use with the specific chimney system and installed according to the manufacturer's instructions.
- 12 Stone column w/ timber post as per owner. See sheet A5.2 detail 14
- 13 Provide 4" Natural Limestone chimney cap as per owner, see Sheet A5.2 detail 15
- 14 Provide cedar trim as per owner



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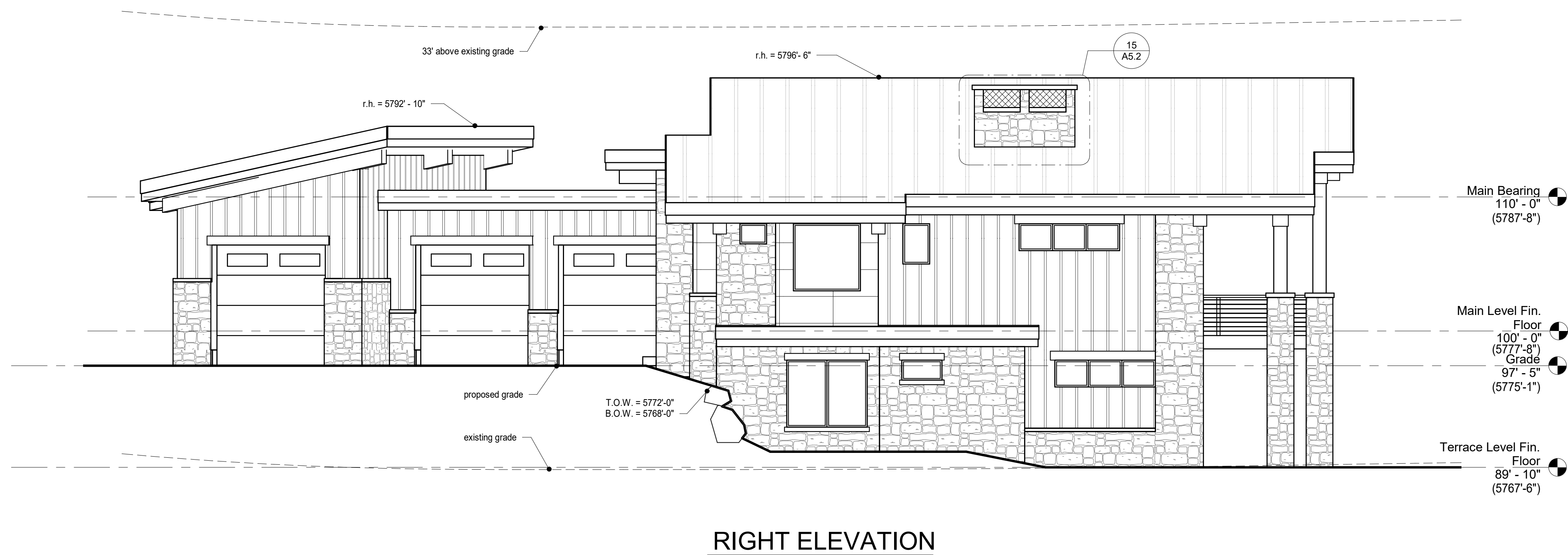
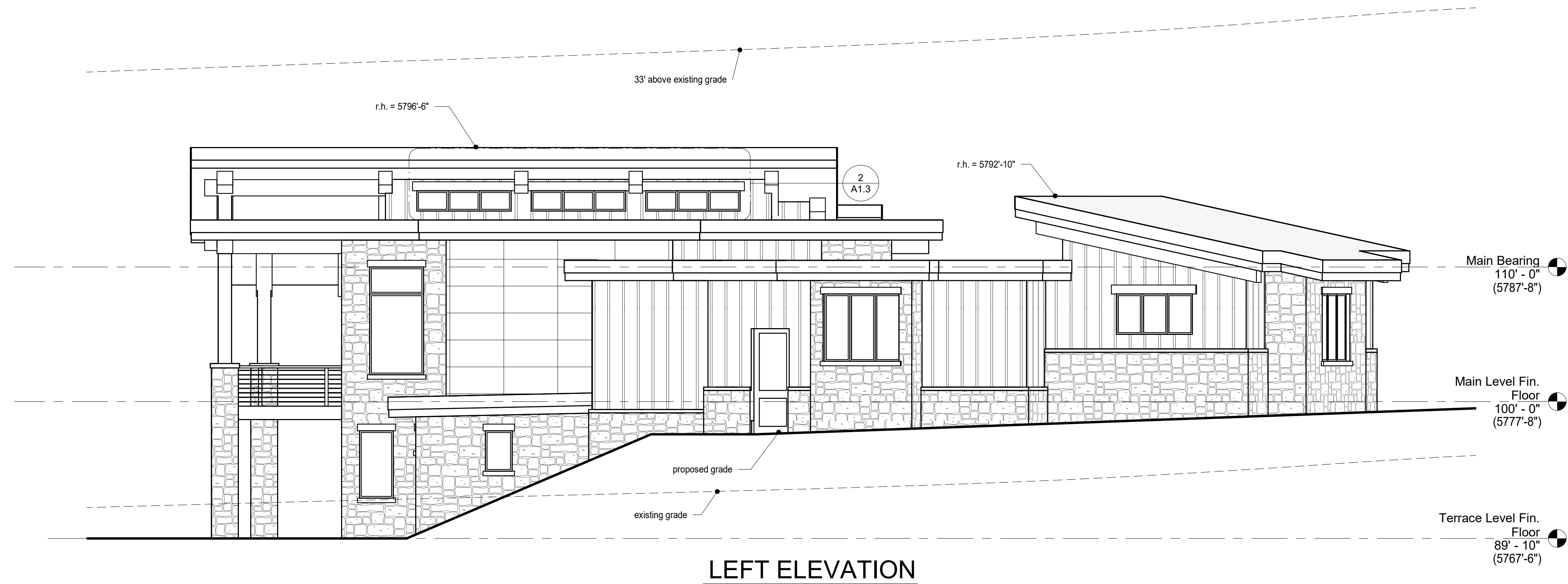
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A3.1

FRONT & REAR ELEVATIONS

GENERAL & KEYED NOTES

See sheet A1.3 for notes



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Red Ledges -
Lot 29

Red Ledges, Lot 29 Heber, Utah

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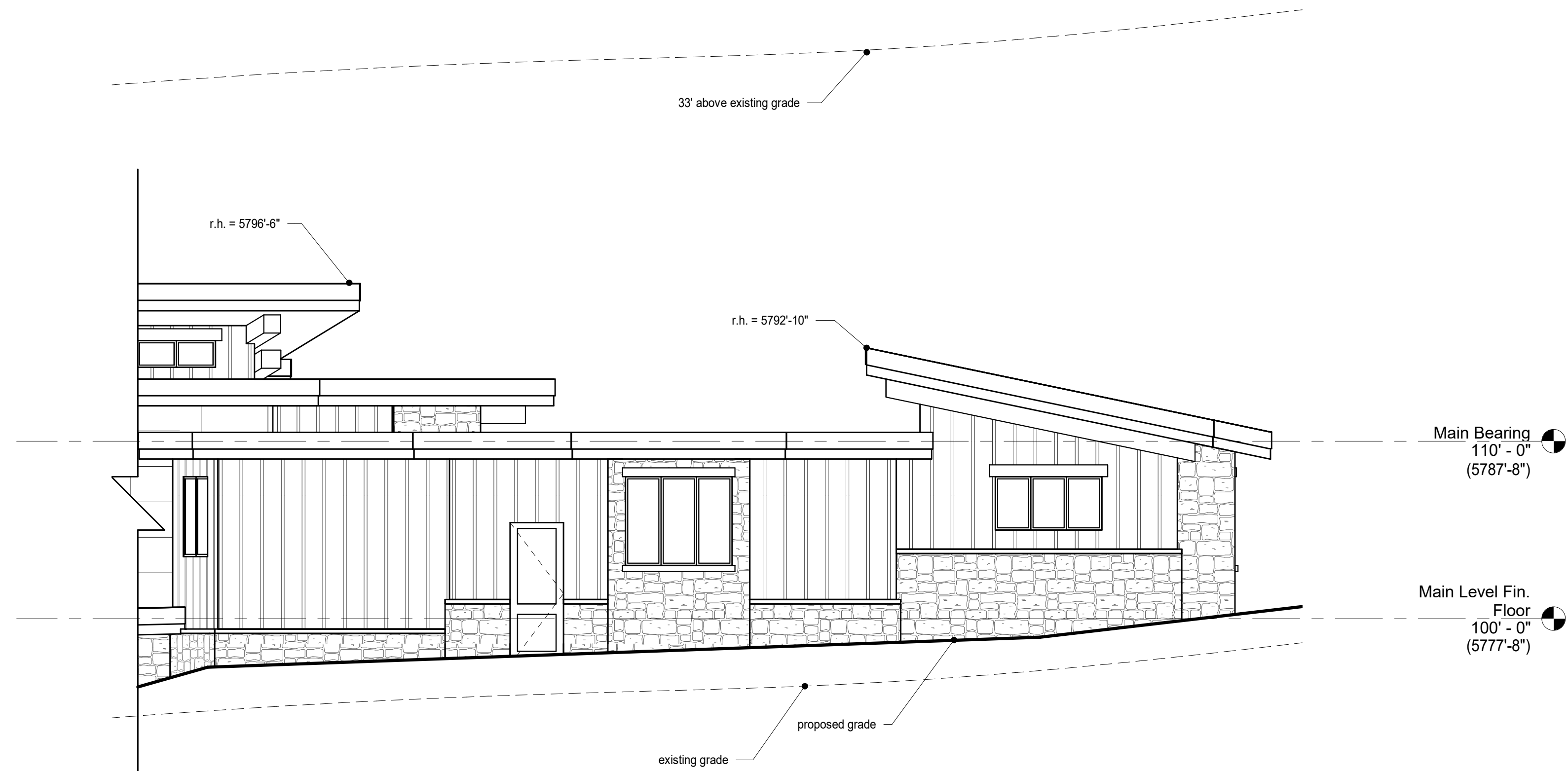
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A3.2

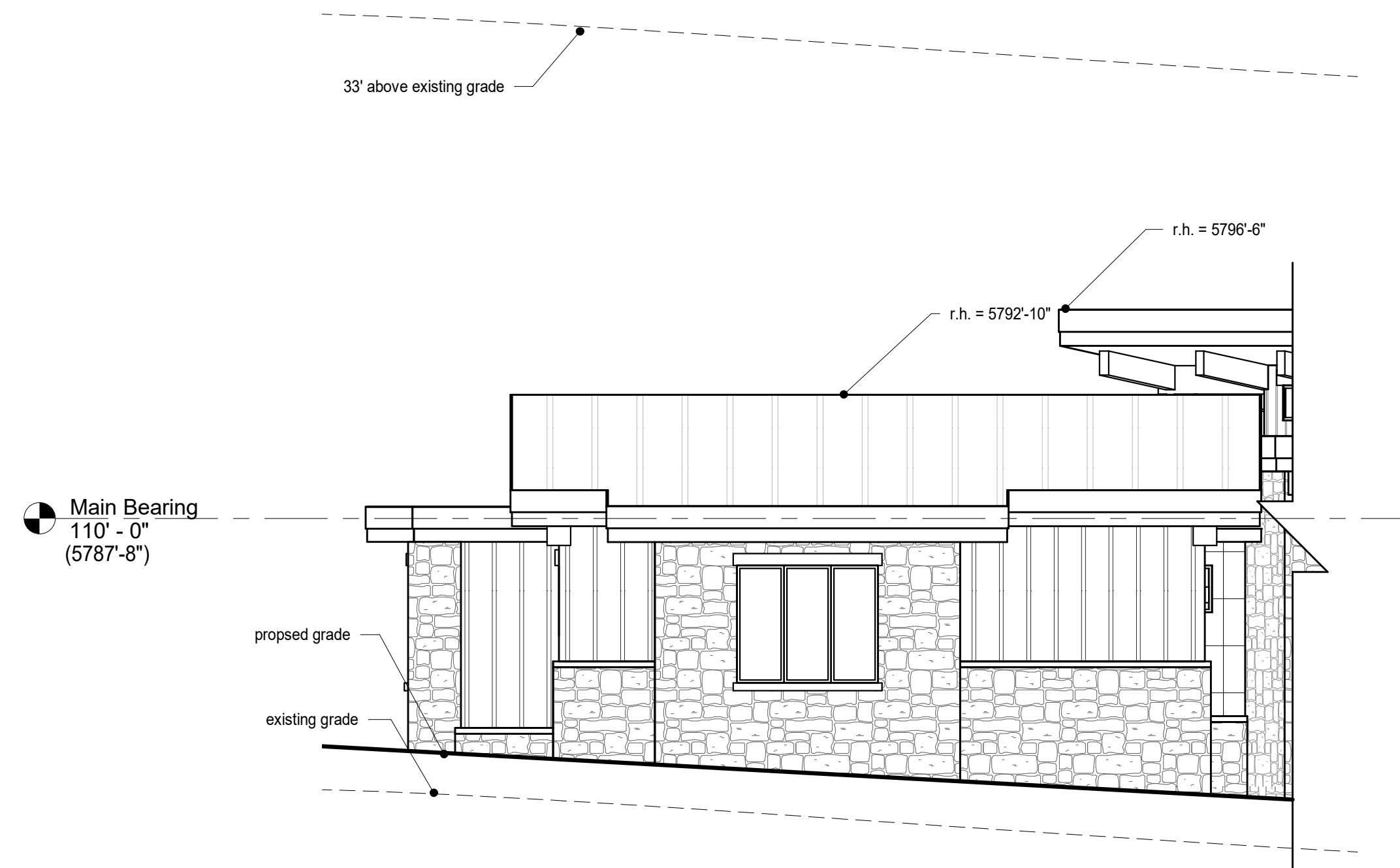
LEFT & RIGHT SIDE ELEVATIONS

GENERAL & KEYED NOTES

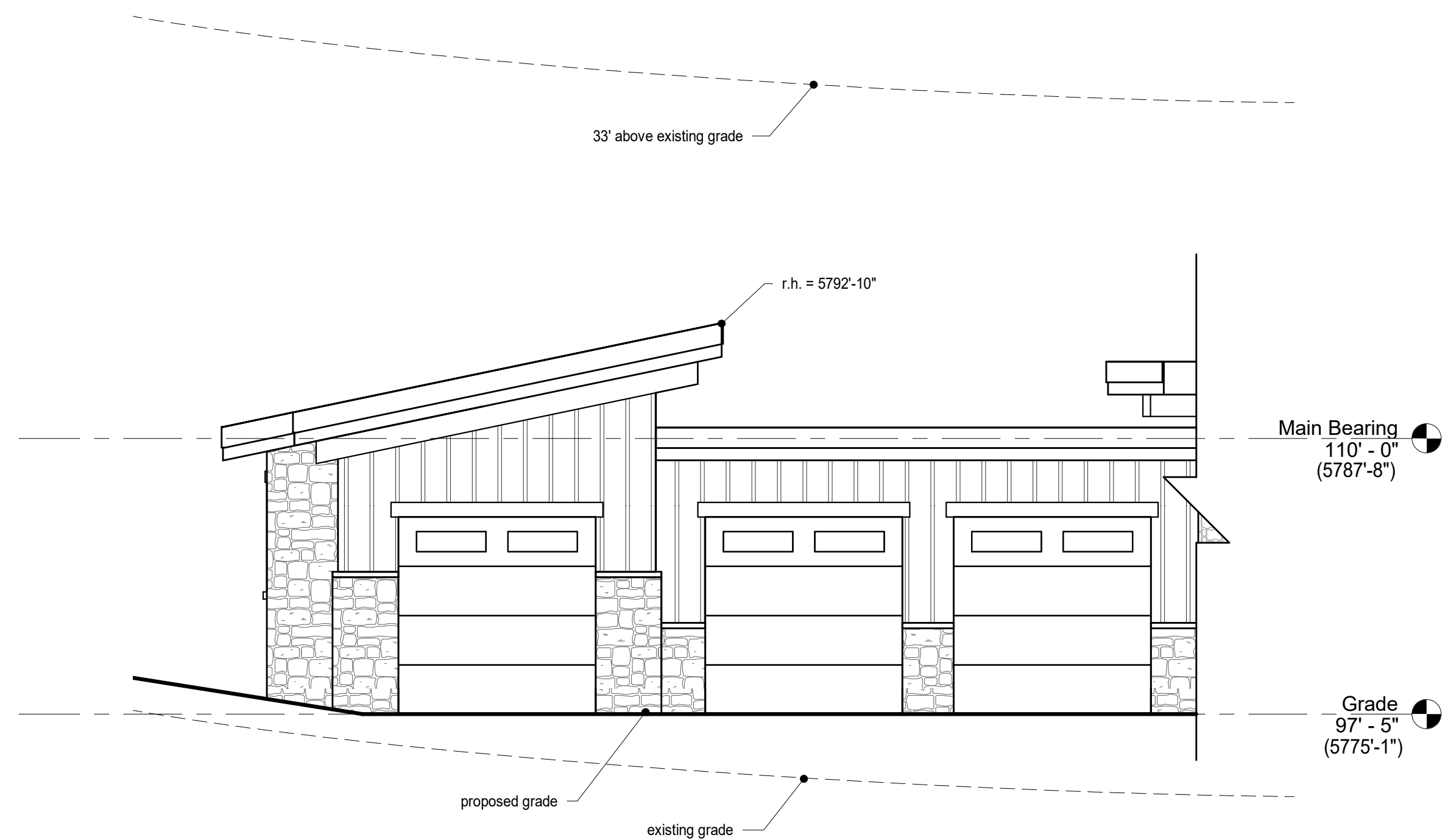
See sheet A1.3 for notes



GARAGE REAR ELEVATION



GARAGE LEFT ELEVATION



GARAGE FRONT ELEVATION



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Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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A3.3

GARAGE ELEVATIONS



Front Right Perspective



Front Left Perspective



Rear Left Perspective



Rear Right Perspective

GENERAL & KEYED NOTES



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Red Ledges -
Lot 29

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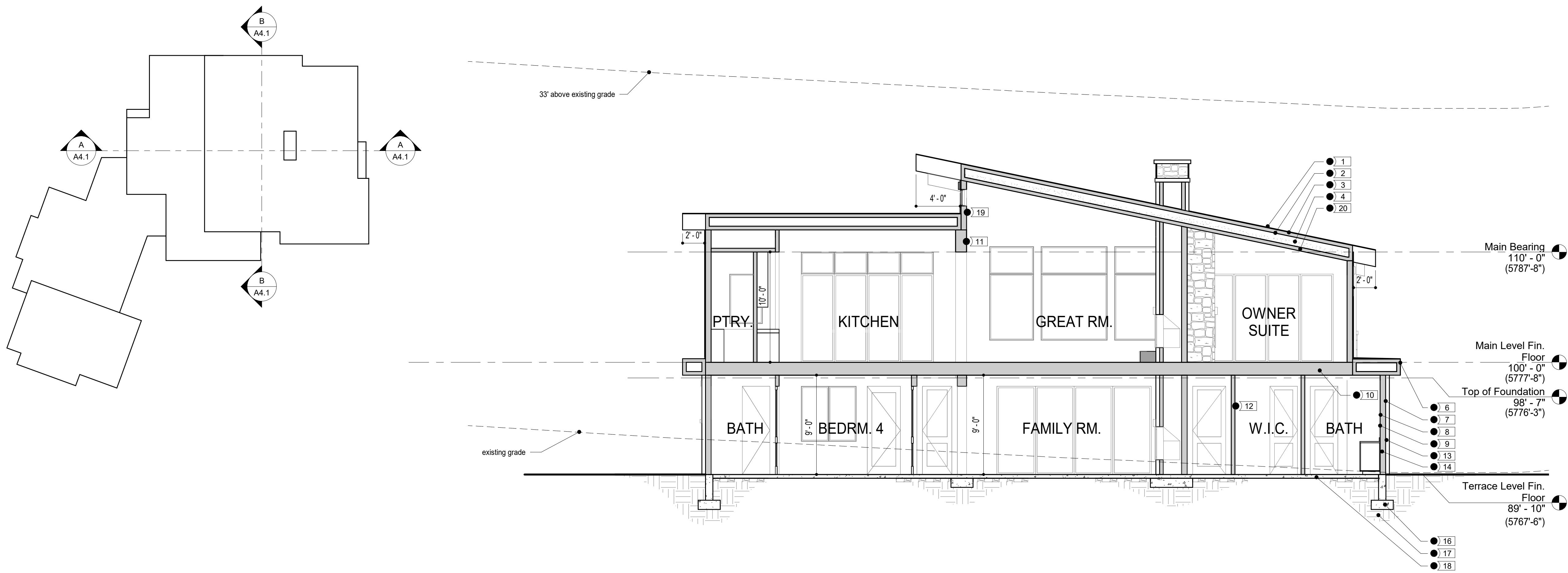
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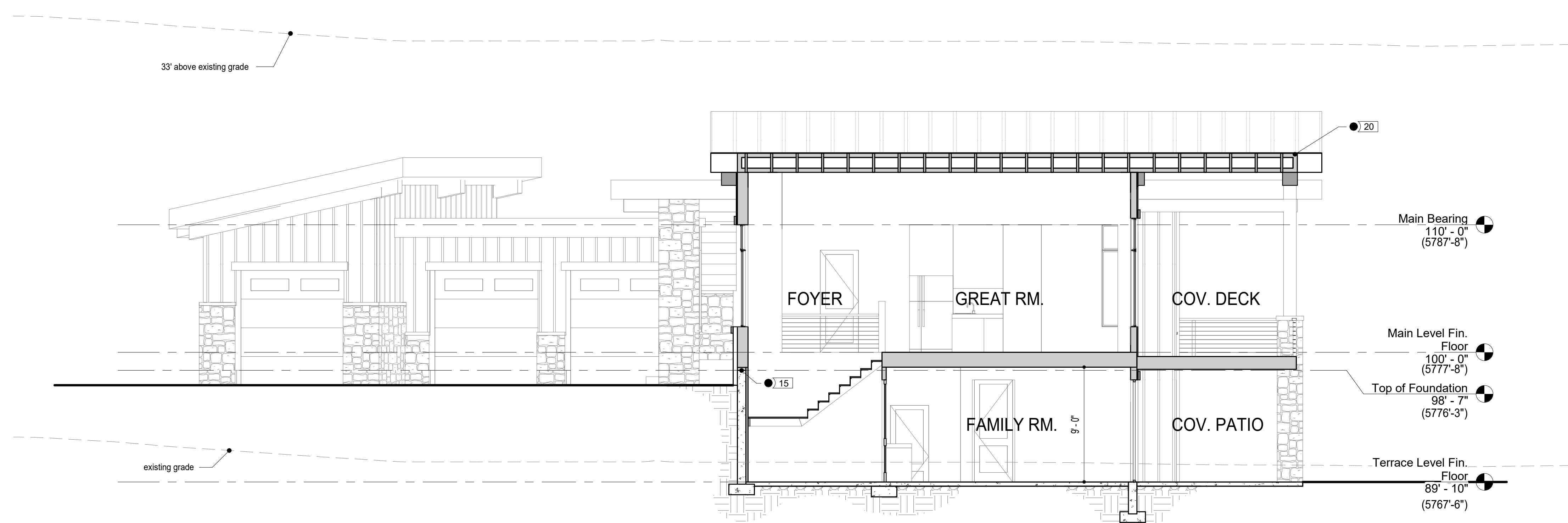
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A3.4

PERSPECTIVE VIEWS



BUILDING SECTION 'A'



BUILDING SECTION 'B'

● # GENERAL & KEYED NOTES

- 1 Provide black TPO roofing membrane as per owner
- 2 Pre-manufactured roof trusses as per Roof Framing Plan
- 3 Roof sheathing as per Roof Framing Plan
- 4 R-50 (min.) ceiling insulation
- 5 Provide attic insulation baffles as per IRC
- 6 2 x 12 fascia board
- 7 Provide (1) layer of weather barrier (Tyvek or Typar type) behind brick veneer & (2) layers behind stucco finish
- 8 1/2" gypsum board @ inside of walls & ceiling (typical unless noted otherwise)
- 9 Provide counter flashing & caulking of all exterior opening (doors, windows, vents, etc.)
- 10 Floor joists as per Floor Framing Plans
- 11 Solid block all joist bearing locations
- 12 Interior walls: 2x4's @ 16" o.c. (u.n.o)
- 13 Exterior wall sheathing as per engineering - provide 1/8" gap or as per manuf. specs.
- 14 Exterior walls: 2x6's @ 16" o.c. (u.n.o) w/ R-23 (min.) insulation
- 15 Provide redwood or treated sill plate @ all concrete to wood connections
- 16 Concrete foundation & footings as per Footing & Foundation Plan
- 17 Earth to be unexcavated or compacted to 90%
- 18 4" concrete slab o/4" free draining granular fill
- 19 Provide a minimum 4-mil polyethylene vapor retarder over the insulation on the inside (warm side) of all exterior walls and roof ceilings. -IRC R601.3
- 20 18" roof truss. See engineering on roof framing plan sheet S4

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Red Ledges -
Lot 29

Red Ledges, Lot 29 Heber, Utah

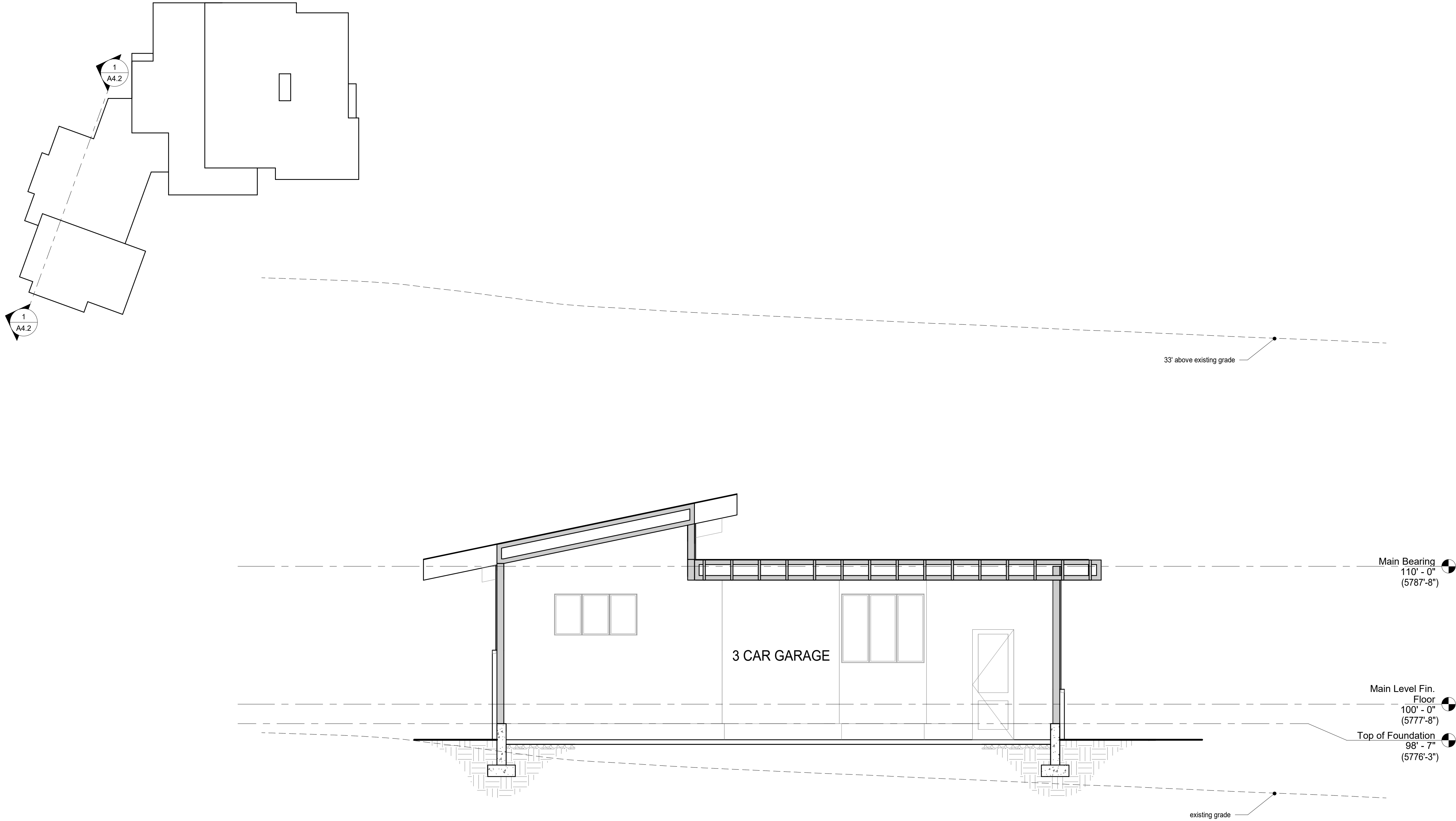
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18 x 24 (sheet size):1/8"=1'-0"
24 x 36 (sheet size):3/16"=1'-0"

Project 20089
19 March 2021

A4.1

BUILDING SECTION 'A' & 'B'



BUILDING SECTION 'C'

GENERAL & KEYED NOTES

See sheet A4.1 for notes



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Red Ledges -
Lot 29

Red Ledges, Lot 29 Heber, Utah

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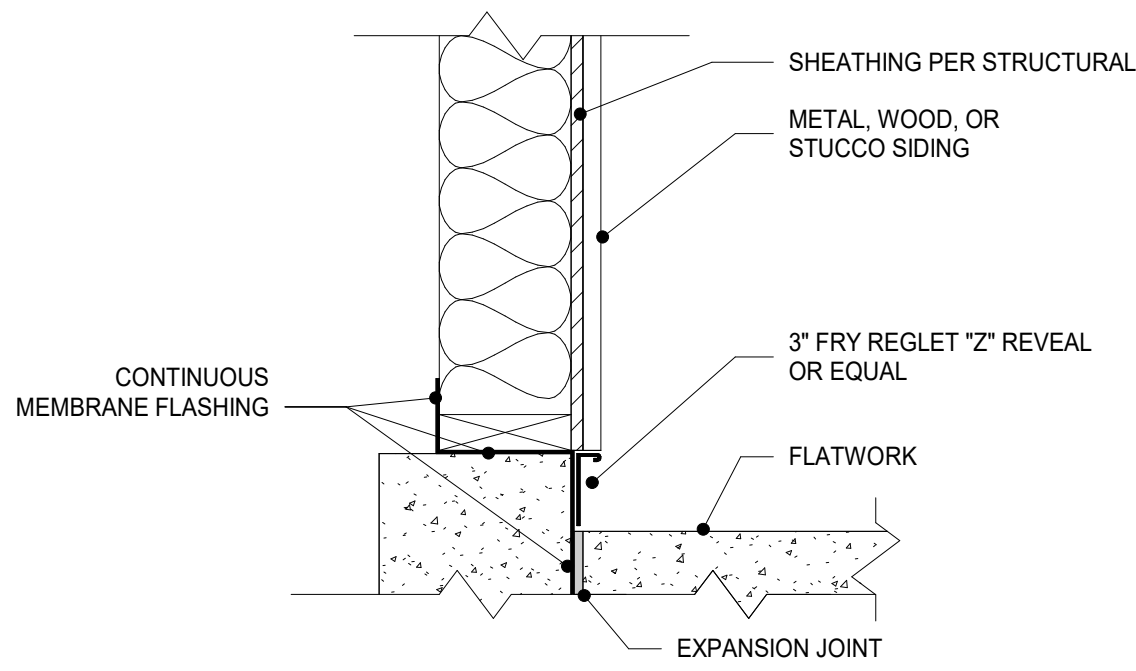
Project 20089

19 March 2021

A4.2

BUILDING SECTION 'C'

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<p>WINDOW HEAD DETAIL</p> <p>RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (HEATING CLIMATE)</p>		<p>9</p>		<p>ROOF/ WALL INTERFACE DETAIL</p> <p>RESIDENTIAL WOOD FRAME STRUCTURE w/ MASONRY VENEER (COOLING CLIMATE)</p>		<p>6</p>		<p>WINDOW WELL DETAIL</p>		<p>3</p>		<p>STAIR DETAIL</p> <p>SCALE: 1/2" = 1'-0"</p> <p>ST-001</p>		<p>1</p>	
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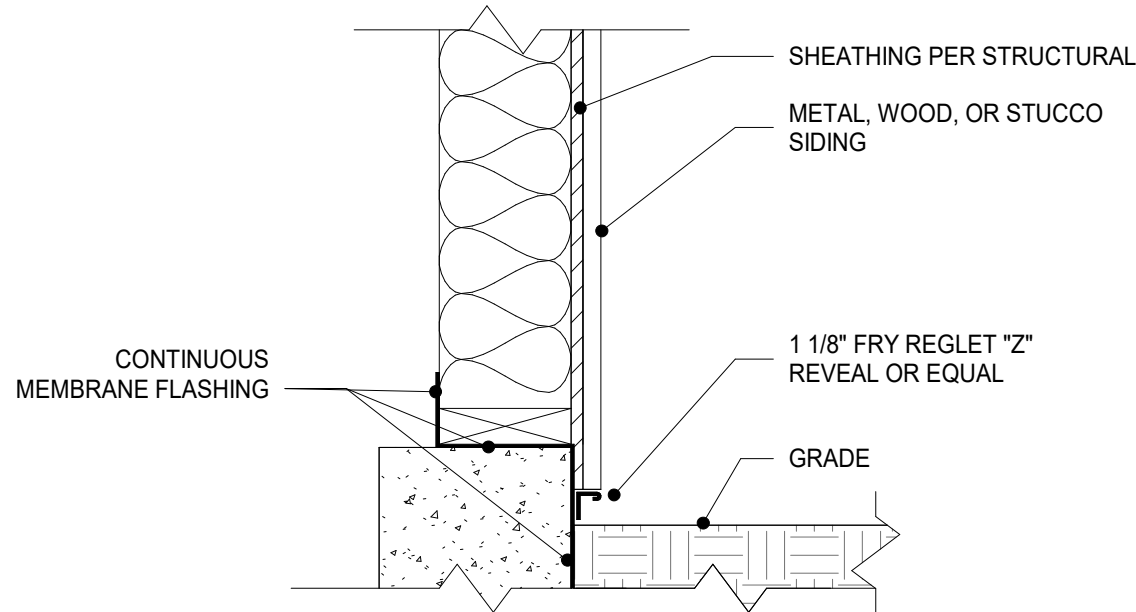


SECTION THRU SILL (FLATWORK)
Scale 1 1/2"=1"

17

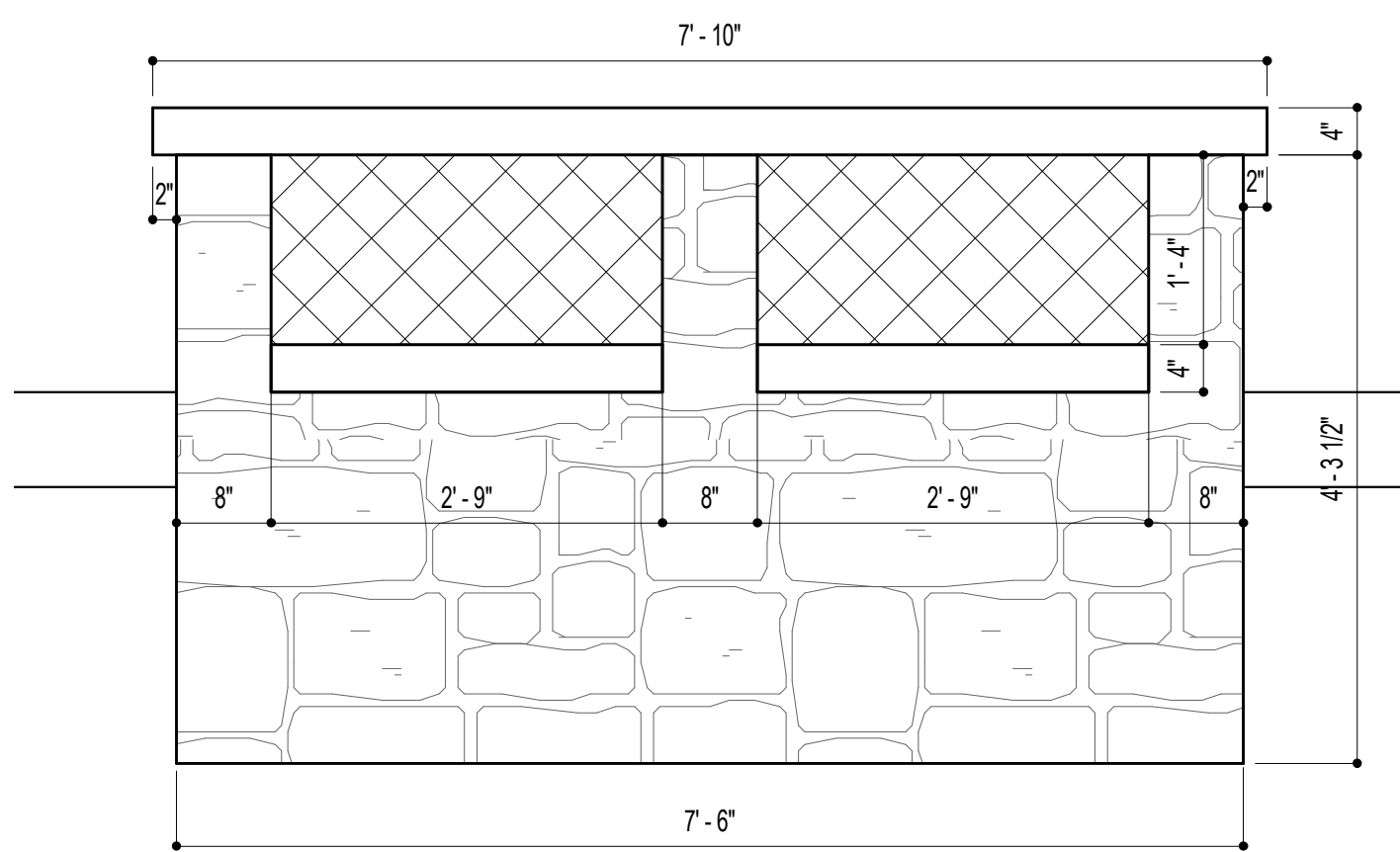
TYPICAL WALL ISOMETRIC
RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)

13



SECTION THRU SILL (GRADE)
Scale 1 1/2"=1"

16

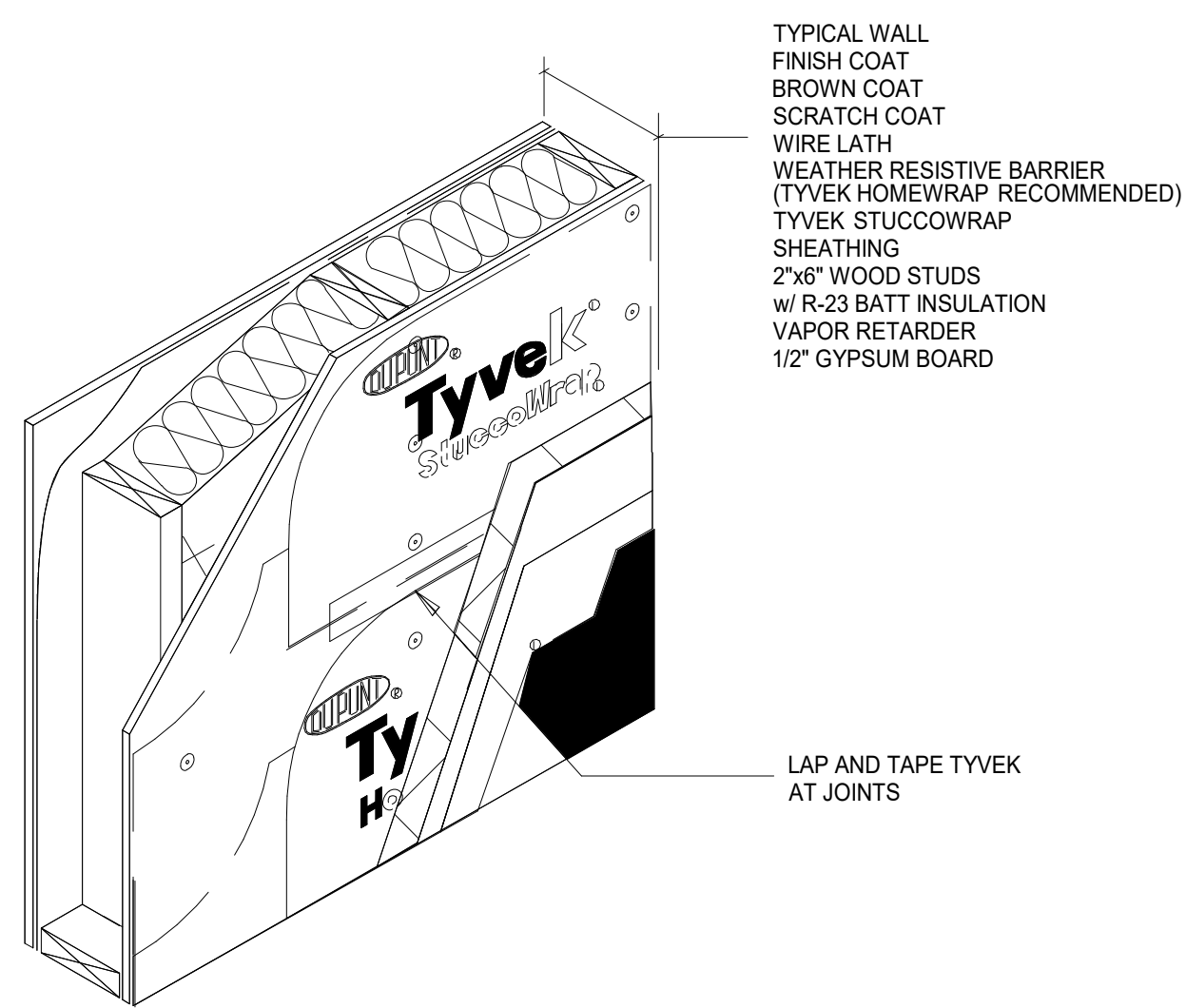


CHIMNEY DETAIL
Scale 3/4"=1"

15

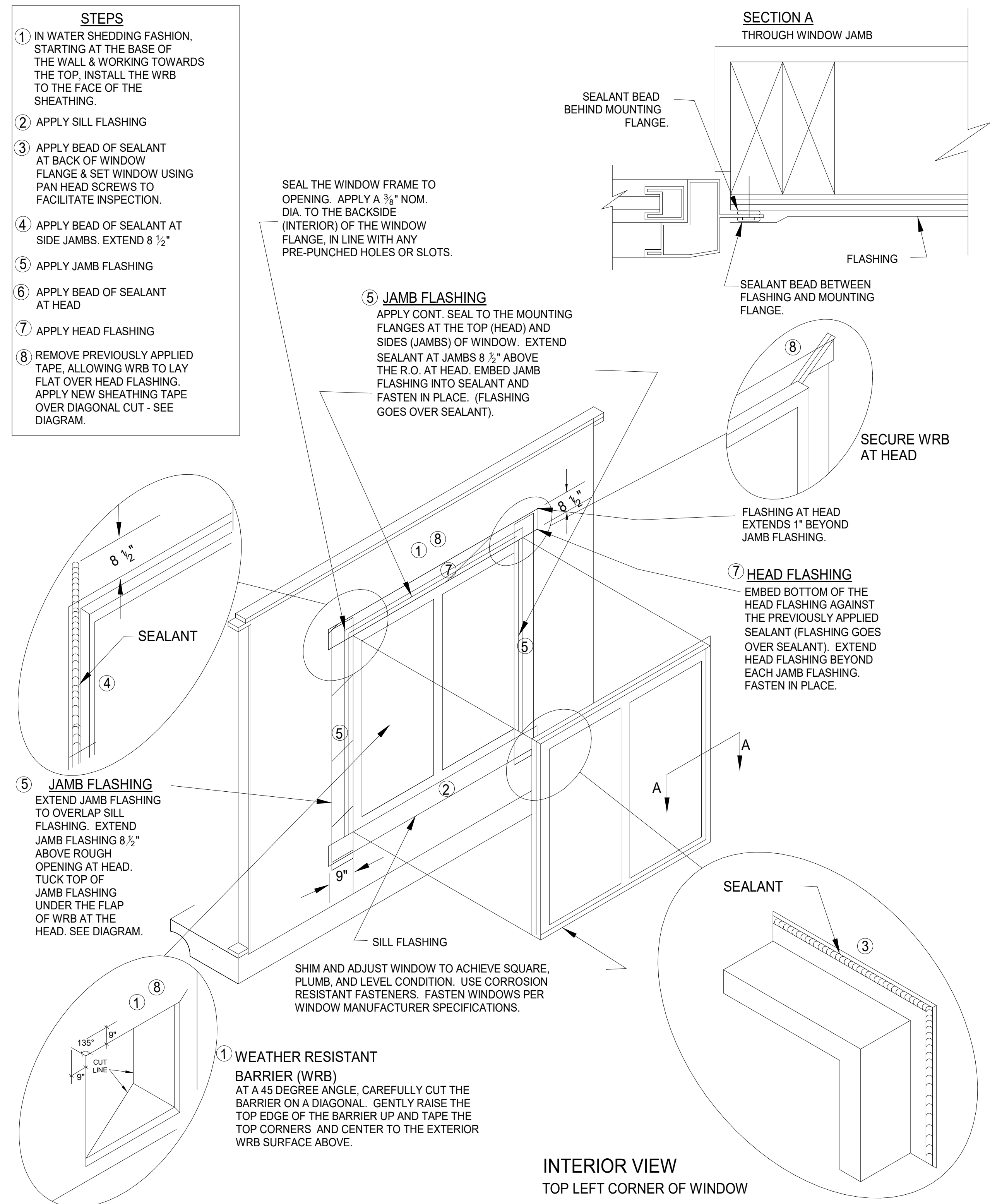
TYPICAL STONE COLUMN DETAIL
Scale 3/4"=1"

14



WINDOW INSTALLATION (METHOD A-1)

WEATHER RESISTIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION.
FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.



12

GENERAL & KEYED NOTES



Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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SCALE AS NOTED

Project 20089

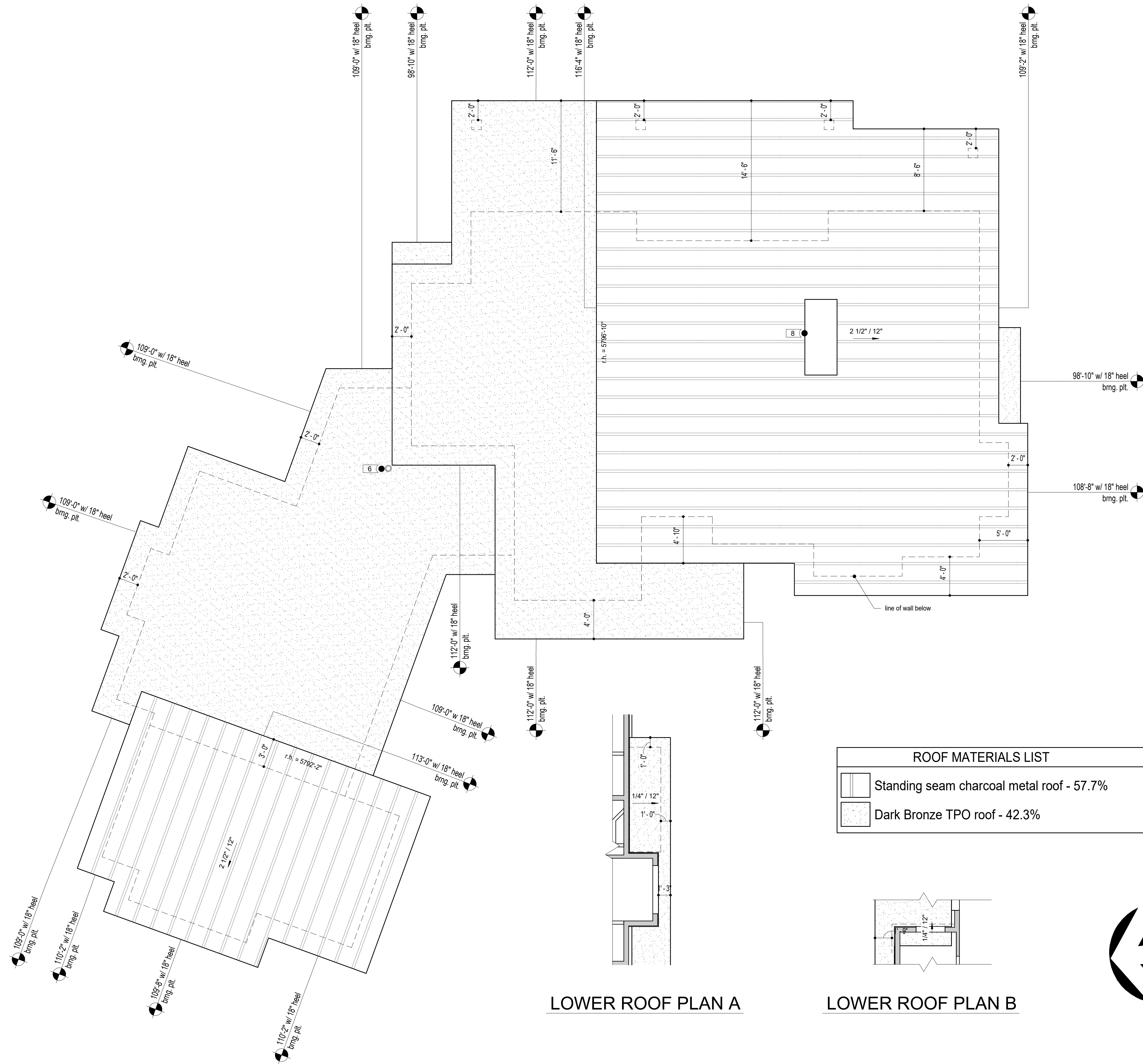
19 March 2021

A5.2

ARCHITECTURAL DETAILS

GENERAL & KEYED NOTES

- 1 All overhangs to be 2'-0" from finished wall unless noted otherwise
- 2 Provide adequate slope for water drainage as req'd
- 3 Provide ice & water shield @ all roof edges, eaves or valleys, & extend 24" up warm side of the exterior wall
- 4 Provide adequate attic ventilation area req'd by code
- 5 Truss manufacturer to submit engineered shop drawings to city building officials for approval prior to fabrication
- 6 All chimneys and flues to be painted as req'd
- 7 No solar installations without ARC Approval. All designs must be completely integral - See ARC Guidelines, Section 5.6"
- 8 Provide 4" chimney cap as per owner



I **INOUE**
D **DESIGN**

1443 W 800 N #203 Orem, Utah 84057 Ph: 801.373.0909

Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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18 x 24 (sheet size): 1/8" = 1'-0"

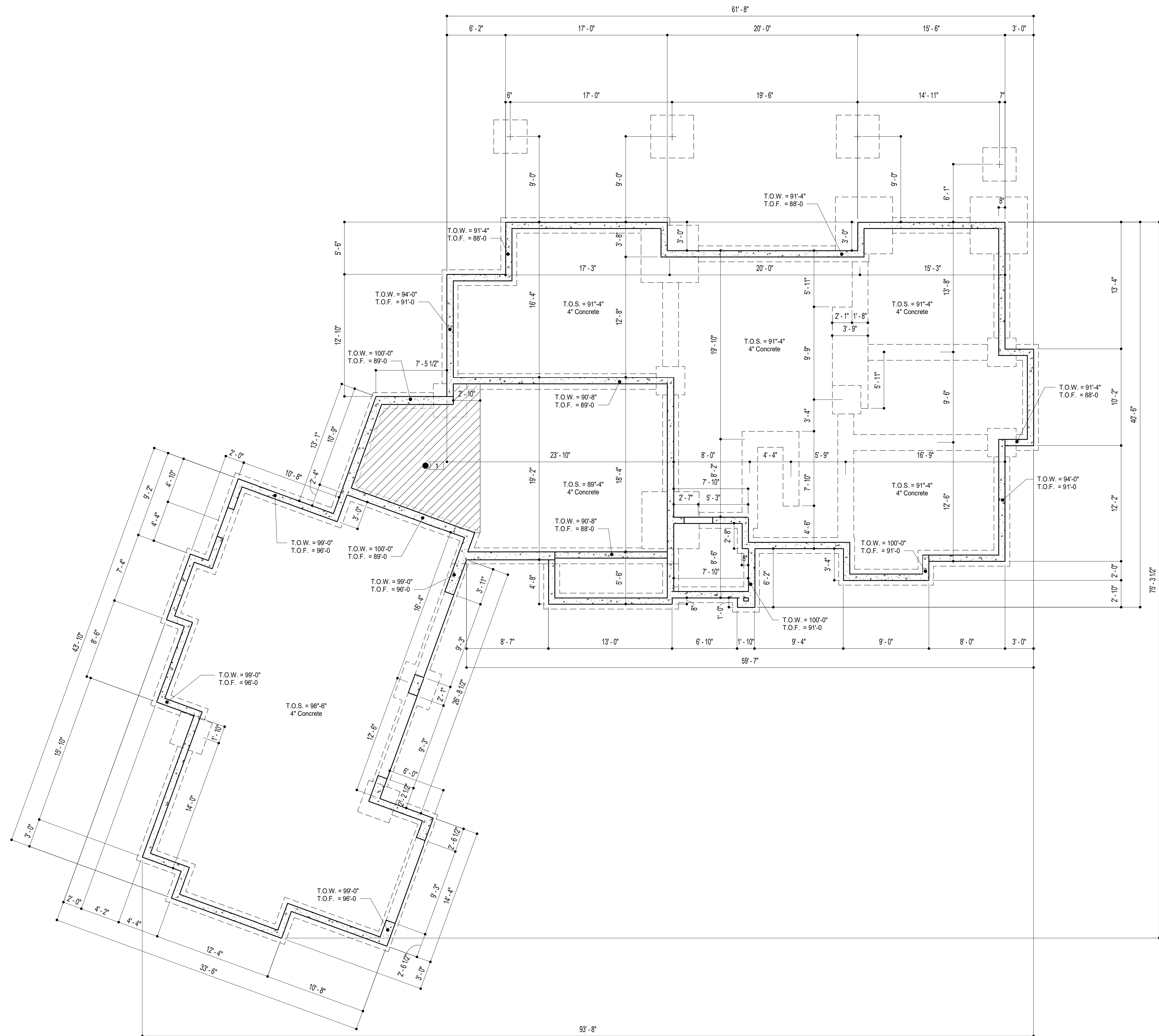
24 x 36 (sheet size): 3/16" = 1'-0"

Project 20089

19 March 2021

A6.1

ROOF PLAN



GENERAL & KEYED NOTES

Note:
Dimensions on sheet are for convenience only. Verify all footing & wall sizes and dimensions with engineering plans.

1. Provide 2' step down into mech. rm.



1443 W 800 N #203 Orem, Utah 84057 Ph: 801.373.0909

Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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18 x 24 (sheet size):1/8"=1'-0"

24 x 36 (sheet size):3/16"=1'-0"

Project 20089

19 March 2021

A7.1

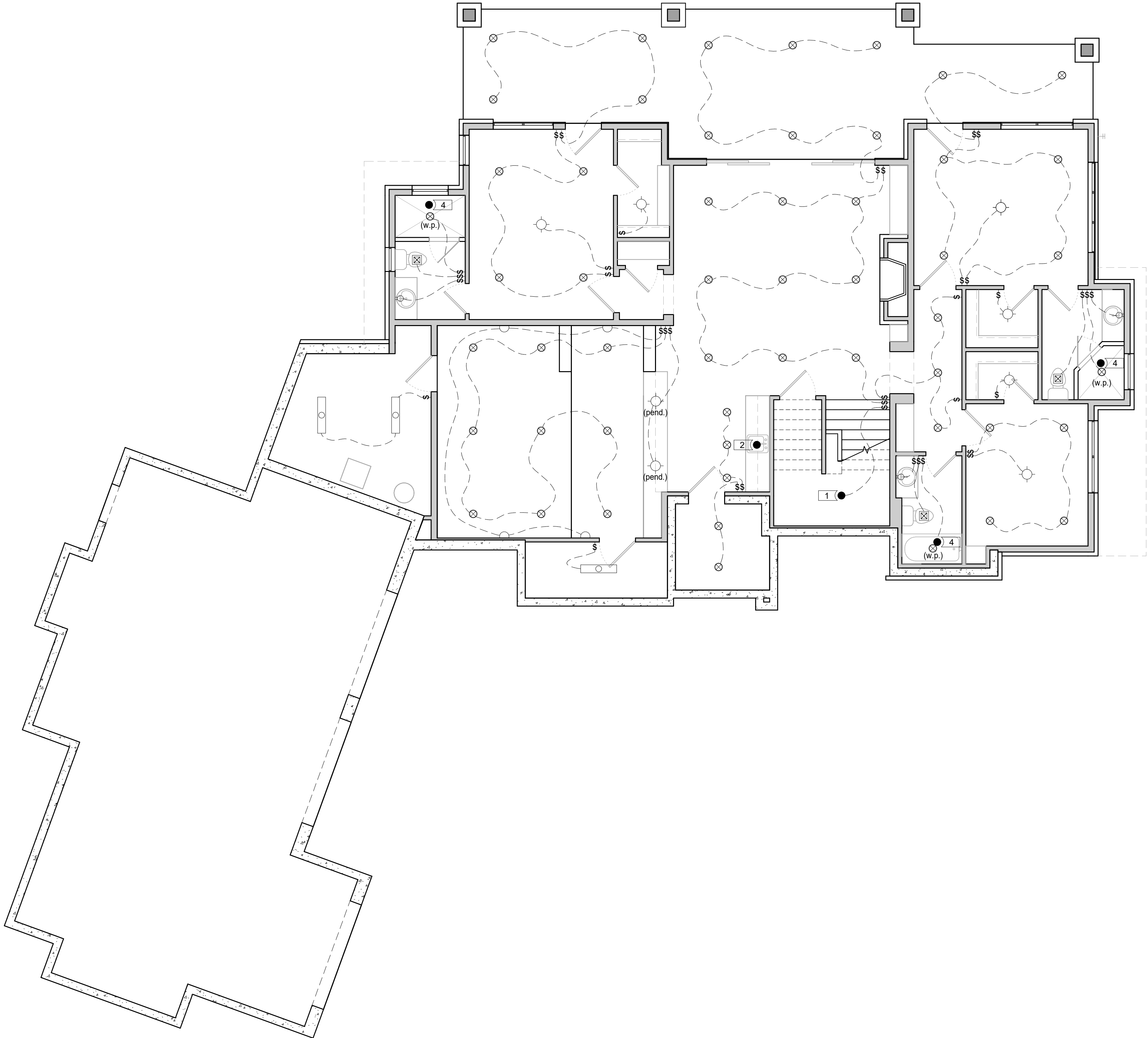
FOUNDATION DIMENSION PLAN



- ## ELECTRICAL LEGEND

- ## E1.1

TERRACE LEVEL POWER PLAN



GENERAL & KEYED NOTES

- 1 To above
- 2 Provide switch to disposal
- 3 Provide landscape lighting as per owner
- 4 All light fixtures above tubs, showers, & Steam Rm. to be waterproof

LIGHTING LEGEND

	Ceiling mounted fixture as per owner L.E.D. lamp
	Ceiling mounted pendant fixture as per owner L.E.D. lamp
	Ceiling mounted chandelier as per owner L.E.D. lamp
	ICAT recessed fixture as per owner L.E.D. light
	Wall mounted fixture as per owner L.E.D. lamp
	Wall sconce as per owner L.E.D. lamp
	Ceiling mounted fluorescent fixture as per owner Flourescent light
	Exterior wall mounted fixture as per owner L.E.D. lamp
	Ceiling fan as per owner L.E.D. lamp
	Flood light as per owner
	Stair Light as per owner - Switch to photocell w/ override switch
	High output L.E.D. lighting as per owner
	Exhaust fan fixture as per owner
	Light switch



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Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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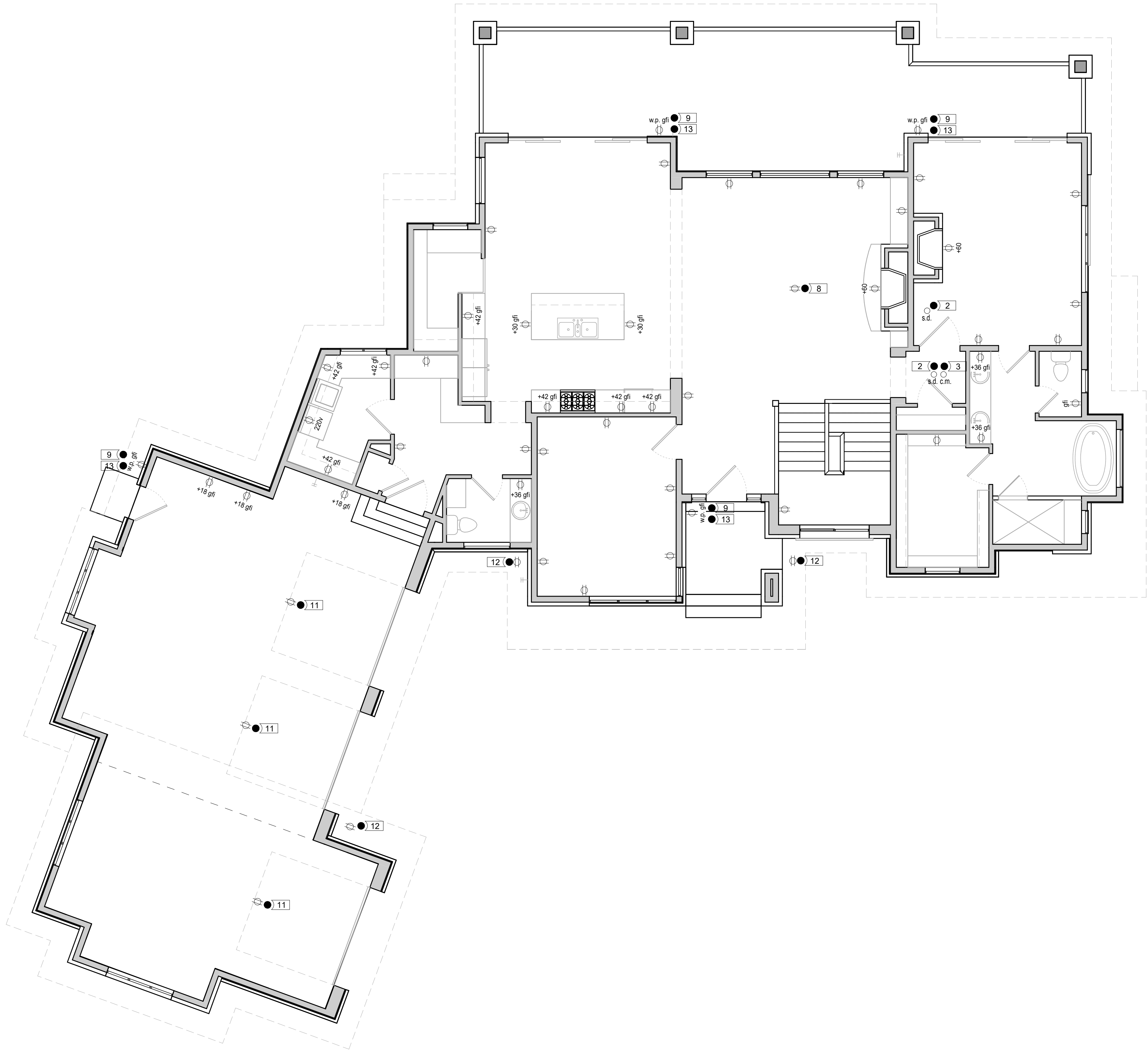
18 x 24 (sheet size):1/8"=1'-0"
24 x 36 (sheet size):3/16"=1'-0"

Project 20089

19 March 2021

E1.2

TERRACE LEVEL LIGHTING PLAN



● # GENERAL & KEYED NOTES

- 1 All electrical installations shall comply with the IRC 2015 & NEC 2014
- 2 All smoke detectors to be hard-wired, interconnected, and have battery backup as per IRC R314
- 3 Provide carbon monoxide detectors @ each habitable level of dwelling as per IRC
- 4 All receptacles serving kitchen counter tops, in garages, baths, unfinished basements, and outside receptacles shall be GFCI protected. Per IRC E3902
- 5 Outlets are req'd so that no point along walls is more than 6 feet from an outlet
- 6 All outlets are to be tamper resistant as req'd
- 7 All branch circuits that supply electrical in bedrooms need to be provided with arc-fault protection. Per IRC 3902.12
- 8 Floor outlet w/ metal protective covering as per owner
- 9 An outlet is req'd outside the front and rear of the dwelling as per IRC
- 10 Outlets are req'd abv. counter space so that no point along the wall is more than 24" from an outlet
- 11 Provide outlet @ ceiling for garage door opener
- 12 Provide 110v outlet @ eaves for holiday lighting w/ photocell & override switch as per owner
- 13 All exterior outlets to be GFCI protected w/ weather proof bubble covers

ELECTRICAL LEGEND

	110v duplex outlet
	110v duplex outlet - ground fault interrupter
	110v duplex outlet waterproof - ground fault circuit
	220v duplex outlet
	Telephone jack
	Cable Outlet
	Smoke Detector as per code
	Carbon monoxide detector as per code
	Electrical panel
	Provide junction box & conduit for future elec. vehicle hook up



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Red Ledges - Lot 29

Red Ledges, Lot 29 Heber, Utah

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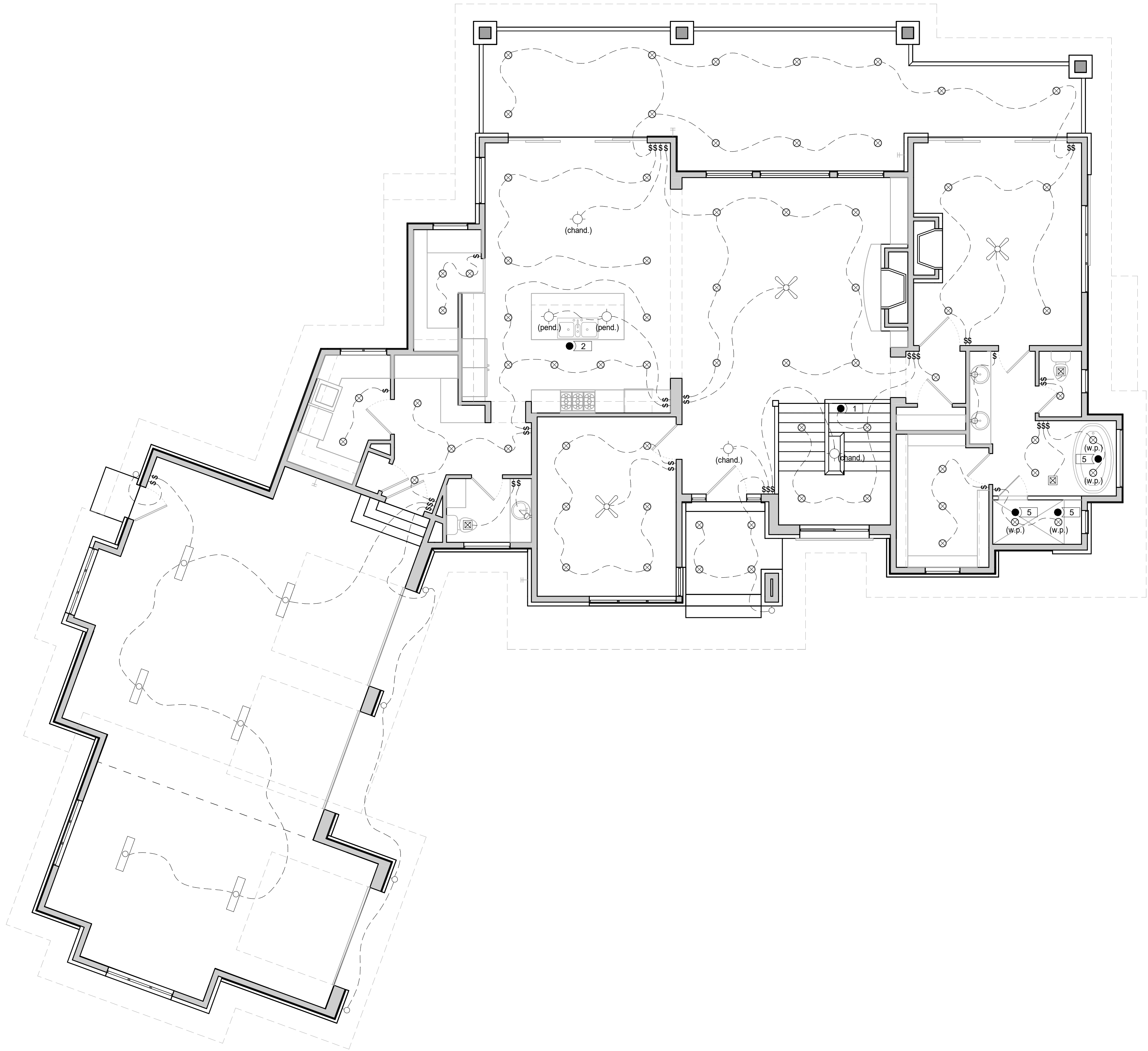
18 x 24 (sheet size):1/8"=1'-0"
24 x 36 (sheet size):3/16"=1'-0"

Project 20089

19 March 2021

E1.3

MAIN LEVEL POWER PLAN



GENERAL & KEYED NOTES

- 1 To below
- 2 Provide switch to disposal
- 3 Provide doorbell as per owner
- 4 Provide recessed-can lighting @ soffit as per owner
- 5 All light fixtures above tubs, showers, & Steam Rm. to be waterproof

LIGHTING LEGEND

	Ceiling mounted fixture as per owner L.E.D. lamp
	Ceiling mounted pendant fixture as per owner L.E.D. lamp
	Ceiling mounted chandelier as per owner L.E.D. lamp
	ICAT recessed fixture as per owner L.E.D. light
	Wall mounted fixture as per owner L.E.D. lamp
	Wall sconce as per owner L.E.D. lamp
	Ceiling mounted fluorescent fixture as per owner Flourescent light
	Exterior wall mounted fixture as per owner L.E.D. lamp
	Ceiling fan as per owner L.E.D. lamp
	Flood light as per owner
	Stair Light as per owner - Switch to photocell w/ override switch
	High output L.E.D. lighting as per owner
	Exhaust fan fixture as per owner
	Light switch



1443 W 800 N #203 Orem, Utah 84057 Pht: 801.373.0909

Red Ledges -
Lot 29

Red Ledges, Lot 29 Heber, Utah

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18 x 24 (sheet size):1/8"=1'-0"

24 x 36 (sheet size):3/16"=1'-0"

Project 20089

19 March 2021

E1.4

MAIN LEVEL LIGHTING PLAN

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FOOTING SCHEDULE						
LABEL	WIDTH	LENGTH	THICK- NESS	CROSS WISE	LENGTH WISE	NOTES
F1	1'-8"	CONT.	12"	-	(2) #4	-
F2	3'-0"	3'-0"	12"	(4) #4	(4) #4	-
F3	3'-6"	3'-6"	12"	(5) #4	(5) #4	-
F4	4'-0"	4'-0"	12"	(6) #4	(6) #4	-
F5	4'-6"	4'-6"	12"	(4) #5	(4) #5	-
F6	6'-0"	6'-0"	14"	(7) #5	(7) #5	-
F7	6'-0"	6'-0"	16"	(7) #5	(7) #5	Top and Bottom
F8	Size	Size	12"	#4at12"o.c.	#4at12"o.c.	-
1. STEEL GRADE Fy = 60 ksi. T.O.W. = Top of Wall						
2. FROST DEPTH AS REQUIRED. (MIN. 40") T.O.F. = Top of Footing						
3. FOOTINGS SHALL BE f'c = 3,000 psi. T.O.S. = Top of Suspended Slab						
4. WALLS AND SLABS SHALL BE f'c = 4,000 psi.T.O.G. = Top of Slab-on-Grade						
5. WALLS AND SLABS SHALL BE AIR-ENTRAINED 6% ± 1%.						

COLUMN SCHEDULE					
#	COLUMN SIZE	Top/Bottom Plate Thickness	#	COLUMN SIZE	Top/Bottom Plate Thickness
C1	#1d.f. 12 x 12	1"	C3	W12 x 35	3/4"
C2	TS 5 x 5 x 3/8"	3/4"	C4		
1. C2 see detail 40.					
2. C3 see detail 40.					

CONCRETE COLUMN SCHEDULE							
LABEL	WIDTH	LENGTH	TOTAL BARS	WIDTH BARS	LENGTH BARS	TIES SPACING	NOTES
P1	8"	16"	8-#4	2-#4	4-#4	#3-8"o.c.	A
P2	12"	12"	8-#5	3-#5	3-#5	#3-10"o.c.	B
1. STEEL GRADE Fy = 60 ksi.							
2. CONCRETE SHALL BE f'c = 4,000 psi.							
3. TRIPLE TIES ON TOP.							

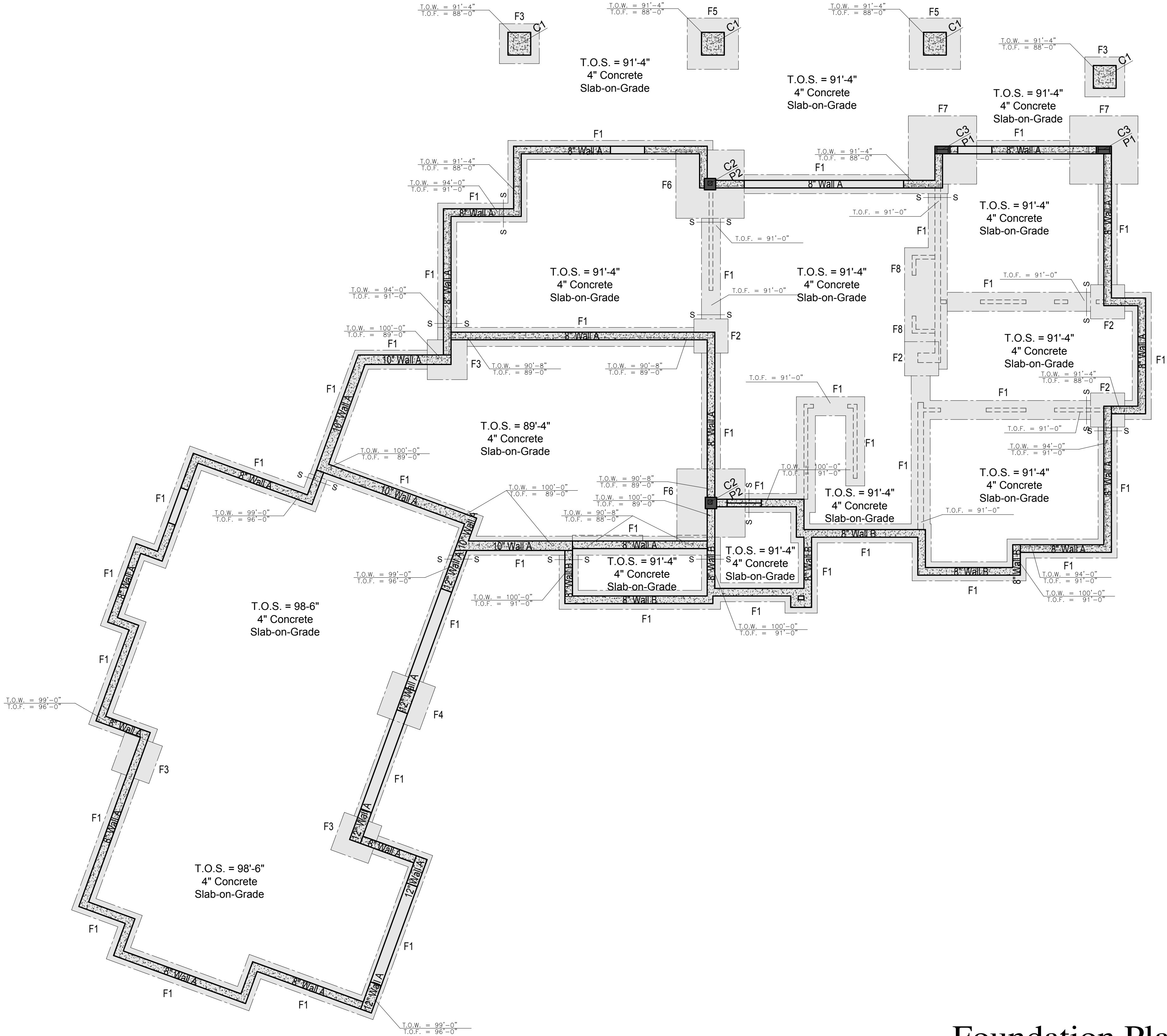
ANCHOR BOLT SCHEDULE		
LOCATION	SPACING (U.N.O.)	SOLE PLATES
Bearing Walls	1/2" x 10" A.B.'s AT 32"o.c.	(1)2x6 PLATE
SW2 Shear Wall	1/2" x 10" A.B.'S AT 24"o.c.	(1)2x6 PLATE
SW3 Shear Wall	1/2" x 10" A.B.'S AT 12"o.c.	(1)2x6 PLATE
SW4 Shear Wall	1/2" x 10" A.B.'S AT 8"o.c.	(1)2x6 PLATE
SW5 Shear Wall	1/2" x 12" A.B.'S AT 6"o.c.	3x6 PLATE
Note: All foundation anchor bolts shall be embedded 7" into the concrete. (Minimum)		
Note: Anchor bolts shall be within the middle third of the foundation base plates.		

8" Concrete Wall A:
#4 bars at 12"o.c. Hori.
#4 bars at 18"o.c. Vert.

8" Concrete Wall B:
#4 bars at 12"o.c. Hori.
#4 bars at 16"o.c. Vert.
5" away from soil face.

10" Concrete Wall A:
#5 bars at 12"o.c. Hori.
#5 bars at 12"o.c. Vert.
7" away from soil face.

12" Concrete Wall A:
Two Curtains of Rebar
#4 bars at 12"o.c. Hori.
#4 bars at 18"o.c. Vert.



DESIGN CRITERIA

Roof: Elev. = 5,771 ft Ground Snow = 64 psf Snow Drift = 10 psf Length 9'-0"	Floor: Live = 40 psf Dead = 25 psf Seismic: V = .076 * W V = .140 * W Wind: 115 mph Exp. C Soil: q = 1,500 psf
--	---

DIAPHRAGM SCHEDULE

LABEL	SHEATHING		SPAN RATING	BLOCKED	NAILING			
	THICK.	TYPE			NAILS	EDGE	FIELD	BOUNDARY
Roof	19/32"	OSB	40/20	No	10d	6"	12"	6"
Floor	3/4"	OSB	24"o.c.	No	10d	6"	10"	6"

1. ALL NAILS, ARE COMMON NAILS.
(8d common nails: Shank diameter .131", Length 2 1/2".)
(10d common nails: Shank diameter .148, Length 3".)
2. NAILS ARE TO BE DRIVEN FLUSH WITH TOP OF SHEATHING.
(Do not over drive nails.)
3. STAGGER NAILS AT COMMON PANEL EDGES.

WALL SCHEDULE

Label	Height (Max.)	Description
W1	14'-6"	#2 d.f. 2x6's at 16"o.c.
W2	16'-0"	#2 d.f. 2x6's at 12"o.c.

BEAM SCHEDULE

B1	(2) 2x10's	B11	GL 3 1/8" x 12"
B2	(3) 2x10's	B12	GL 3 1/8" x 13 1/2"
B3	(3) 1 3/4" x 9 1/2" LVL's	B13	GL 5 1/8" x 9"
B4	(3) 1 3/4" x 9 1/2" LVL's	B14	GL 5 1/8" x 10 1/2"
B5	(1) 1 3/4" x 14" LVL's	B15	GL 5 1/8" x 12"
B6	(2) 1 3/4" x 14" LVL's	B16	GL 5 1/8" x 16 1/2"
B7	3 1/2" x 14" Paralam	B17	W12 x 26
B8	5 1/4" x 18" Paralam	B18	W12 x 35
B9	(2) 1 3/4" x 18" LVL's	B19	W18 x 86
B10	(3) 1 3/4" x 18" LVL's	B20	-

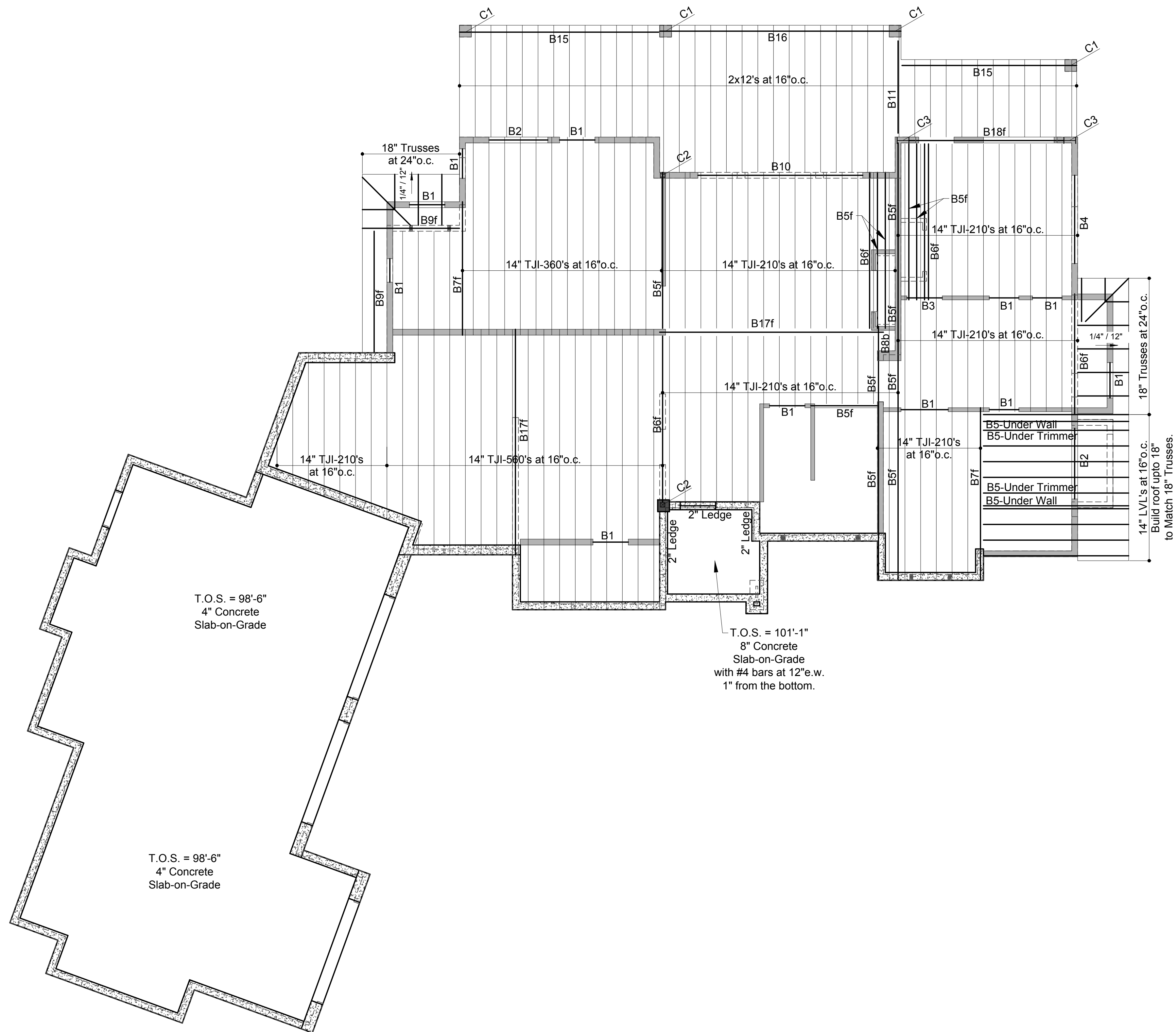
HANGER SCHEDULE ud = Upside Down
sk = skewed

H1	HU11 or HU14	4,165	H4	See Detail #55
H2	LSSU Hanger	1,150	H5	See Detail #56
H3	HGUS5.50/14	10,100	H6	-

COLUMN SCHEDULE

#	COLUMN SIZE	Top/Bottom Plate Thickness	#	COLUMN SIZE	Top/Bottom Plate Thickness
C1	#1d.f. 12 x 12	1"	C3	W12 x 35	3/4"
C2	TS 5 x 5 x 3/8"	3/4"	C4		

1. C2 see detail 40.
2. C3 see detail 40.



Main Floor Framing Plan

SCALE 3/16" = 1'-0"

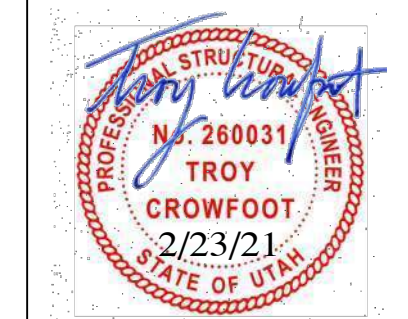
BearGhost Inc.
Residential Structural Engineering
10513 North Iverson Lane
Highland, Utah 84003
Phone (801) 360-1200

Red Ledges 29

Red Ledges Lot #29
Heber, Utah

Main Floor Framing Plan

SEAL:



DATE: Feb. 23, 2021
REVISION: -
JOB #: 2104

SHEET NUMBER

S2

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DESIGN CRITERIA	
Roof: Elev. = 5,771 ft Ground Snow = 64 psf Snow Drift = 10 psf Length 9'-0"	Floor: Live = 40 psf Dead = 25 psf Seismic: V = .076 * W V = .140 * W Wind: 115 mph Exp. C Soil: q = 1,500 psf
Roof Snow = 45 psf Dead = 25 psf (Tile Roof) Trusses (45,20,0,5)	
Snow Load Duration Factor = 1.00	

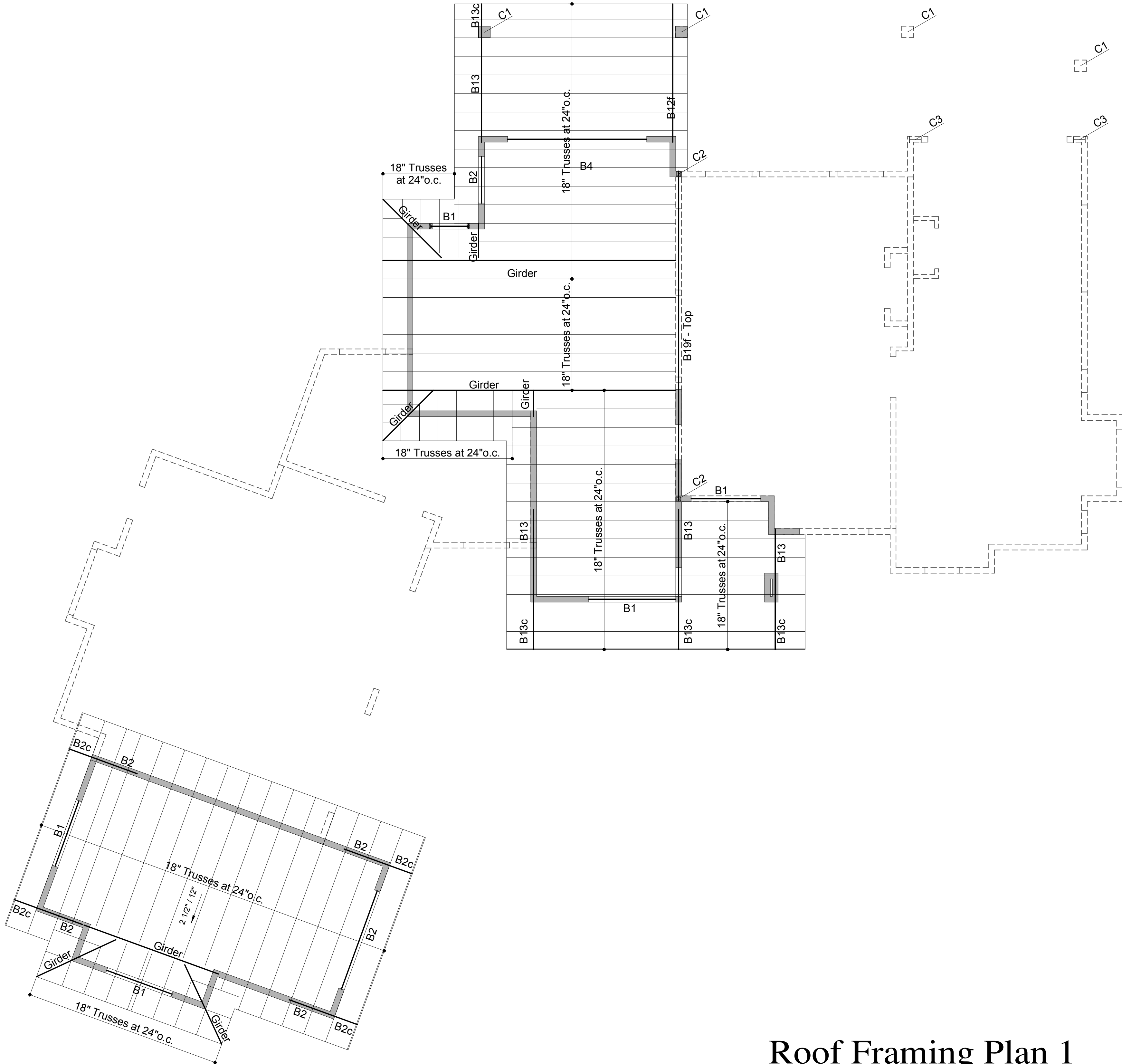
DIAPHRAGM SCHEDULE								
LABEL	SHEATHING		SPAN RATING	BLOCKED	NAILING			
	THICK.	TYPE			NAILS	EDGE	FIELD	BOUNDARY
Roof	19/32"	OSB	40/20	No	10d	6"	12"	6"
Floor	3/4"	OSB	24"o.c.	No	10d	6"	10"	6"
1. ALL NAILS, ARE COMMON NAILS. (8d common nails: Shank diameter .131", Length 2 1/2".) (10d common nails: Shank diameter .148, Length 3".) 2. NAILS ARE TO BE DRIVEN FLUSH WITH TOP OF SHEATHING. (Do not over drive nails.) 3. STAGGER NAILS AT COMMON PANEL EDGES.								

WALL SCHEDULE		
Label	Height (Max.)	Description
W1	14'-6"	#2 d.f. 2x6's at 16"o.c.
W2	16'-0"	#2 d.f. 2x6's at 12"o.c.

BEAM SCHEDULE			
b = below		f = flush c = cantilever	
B1	(2) 2x10's	B11	GL 3 1/8" x 12"
B2	(3) 2x10's	B12	GL 3 1/8" x 13 1/2"
B3	(3) 1 3/4" x 9 1/2" LVL's	B13	GL 5 1/8" x 9"
B4	(3) 1 3/4" x 9 1/2" LVL's	B14	GL 5 1/8" x 10 1/2"
B5	(1) 1 3/4" x 14" LVL's	B15	GL 5 1/8" x 12"
B6	(2) 1 3/4" x 14" LVL's	B16	GL 5 1/8" x 16 1/2"
B7	3 1/2" x 14" Paralam	B17	W12 x 26
B8	5 1/4" x 18" Paralam	B18	W12 x 35
B9	(2) 1 3/4" x 18" LVL's	B19	W18 x 86
B10	(3) 1 3/4" x 18" LVL's	B20	-

HANGER SCHEDULE					
H1	HU11 or HU14	4,165	H4	See Detail #55	
H2	LSSU Hanger	1,150	H5	See Detail #56	
H3	HGUS5.50/14	10,100	H6	-	-

COLUMN SCHEDULE					
#	COLUMN SIZE	Top/Bottom Plate Thickness	#	COLUMN SIZE	Top/Bottom Plate Thickness
C1	#1d.f. 12 x 12	1"	C3	W12 x 35	3/4"
C2	TS 5 x 5 x 3/8"	3/4"	C4		
1. C2 see detail 40. 2. C3 see detail 40.					

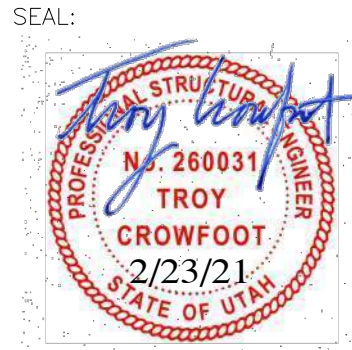


Roof Framing Plan 1

SCALE 3/16" = 1'-0"

BearGhost Inc.
Residential Structural Engineering
10513 North Iverson Lane
Highland, Utah 84003
Phone (801) 360-1200

Red Ledges 29
Red Ledges Lot #29
Heber, Utah
Roof Framing Plan



DATE: Feb. 23, 2021
REVISION: 2104
JOB #:

SHEET NUMBER

S3

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DESIGN CRITERIA	
Roof: Elev. = 5,771 ft Ground Snow = 64 psf Snow Drift = 10 psf Length 9'-0"	Floor: Live = 40 psf Dead = 25 psf Seismic: V = .076 * W V = .140 * W Wind: 115 mph Exp. C Soil: q = 1,500 psf
Roof Snow = 45 psf Dead = 25 psf (Tile Roof) Trusses (45,20,0,5)	
Snow Load Duration Factor = 1.00	

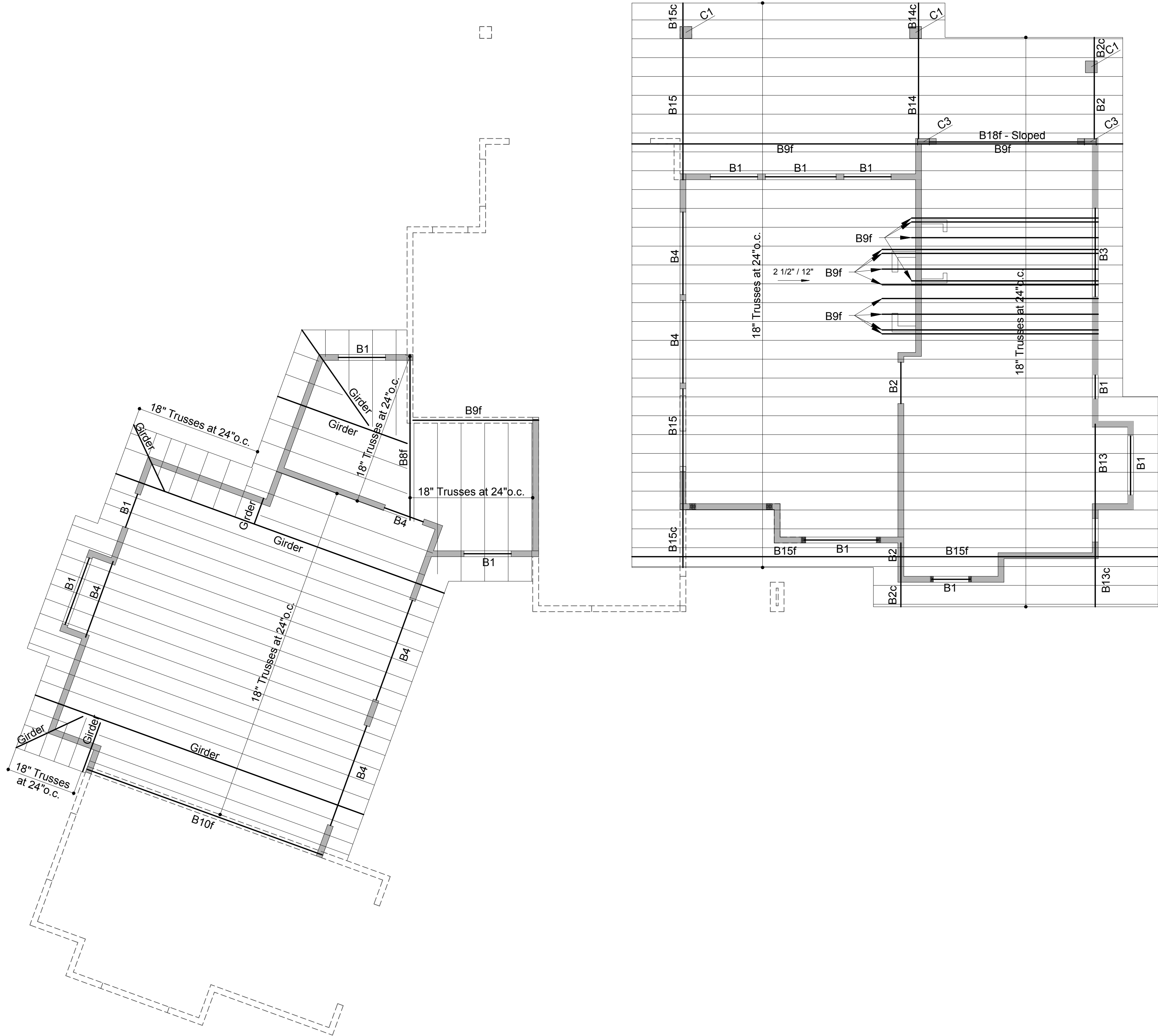
DIAPHRAGM SCHEDULE								
LABEL	SHEATHING THICK.	TYPE	SPAN RATING	BLOCKED	NAILING			
					NAILS	EDGE	FIELD	BOUNDARY
Roof	19/32"	OSB	40/20	No	10d	6"	12"	6"
Floor	3/4"	OSB	24"o.c.	No	10d	6"	10"	6"
1. ALL NAILS, ARE COMMON NAILS. (8d common nails: Shank diameter .131", Length 2 1/2".) (10d common nails: Shank diameter .148, Length 3".) 2. NAILS ARE TO BE DRIVEN FLUSH WITH TOP OF SHEATHING. (Do not over drive nails.) 3. STAGGER NAILS AT COMMON PANEL EDGES.								

WALL SCHEDULE		
Label	Height (Max.)	Description
W1	14'-6"	#2 d.f. 2x6's at 16"o.c.
W2	16'-0"	#2 d.f. 2x6's at 12"o.c.

BEAM SCHEDULE			
b = below		f = flush c = cantilever	
B1	(2) 2x10's	B11	GL 3 1/8" x 12"
B2	(3) 2x10's	B12	GL 3 1/8" x 13 1/2"
B3	(3) 1 3/4" x 9 1/2" LVL's	B13	GL 5 1/8" x 9"
B4	(3) 1 3/4" x 9 1/2" LVL's	B14	GL 5 1/8" x 10 1/2"
B5	(1) 1 3/4" x 14" LVL's	B15	GL 5 1/8" x 12"
B6	(2) 1 3/4" x 14" LVL's	B16	GL 5 1/8" x 16 1/2"
B7	3 1/2" x 14" Paralam	B17	W12 x 26
B8	5 1/4" x 18" Paralam	B18	W12 x 35
B9	(2) 1 3/4" x 18" LVL's	B19	W18 x 86
B10	(3) 1 3/4" x 18" LVL's	B20	-

HANGER SCHEDULE					
H1	HU11 or HU14	4,165	H4	See Detail #55	
H2	LSSU Hanger	1,150	H5	See Detail #56	
H3	HGUS5.50/14	10,100	H6	-	-

COLUMN SCHEDULE					
#	COLUMN SIZE	Top/Bottom Plate Thickness	#	COLUMN SIZE	Top/Bottom Plate Thickness
C1	#1d.f. 12 x 12	1"	C3	W12 x 35	3/4"
C2	TS 5 x 5 x 3/8"	3/4"	C4		
1. C2 see detail 40. 2. C3 see detail 40.					

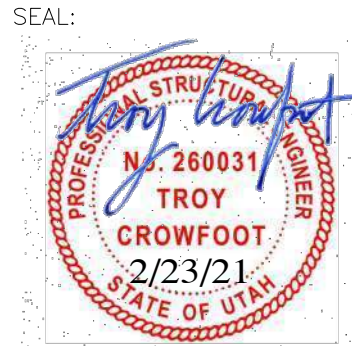


Roof Framing Plan 2

SCALE 3/16" = 1'-0"

BearGhost Inc.
Residential Structural Engineering
10513 North Iverson Lane
Highland, Utah 84003
Phone (801) 360-1200

Red Ledges 29
Red Ledges Lot #29
Heber, Utah
Roof Framing Plan



DATE: Feb. 23, 2021
REVISION: 2104
JOB #:

SHEET NUMBER

S4

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SHEAR WALL SCHEDULE								
LABEL	SHEATHING		SPAN RATING	BLOCKED	NAILING			
	THICK.	TYPE			NAILS	EDGE	FIELD	BOUNDARY
SW1	7/16"	OSB	24/0	YES	8d	6"	12"	6"
SW2	7/16"	OSB	24/0	YES	8d	4"	12"	4"
SW3	7/16"	OSB	24/0	YES	8d	3"	12"	3"
SW4	7/16"	OSB	24/0	YES	8d	2"	12"	2"
SW5	3/4"	CDX	40/20	YES	(2)10d	3"	12"	3"

1. ALL NAILS, ARE COMMON NAILS.
(8d common nails: Shank diameter .131", Length 2 1/2".)
(10d common nails: Shank diameter .148, Length 3".)

2. NAILS ARE TO BE DRIVEN FLUSH WITH TOP OF SHEATHING.
(Do not over drive nails.)

3. STAGGER NAILS AT COMMON PANEL EDGES.

4. MST - See Detail #42.

5. RJ - See Detail #43.

6. HDU2 - See Detail #44.

7. HDU5 - See Detail #45.

8. ST - See Detail #46.

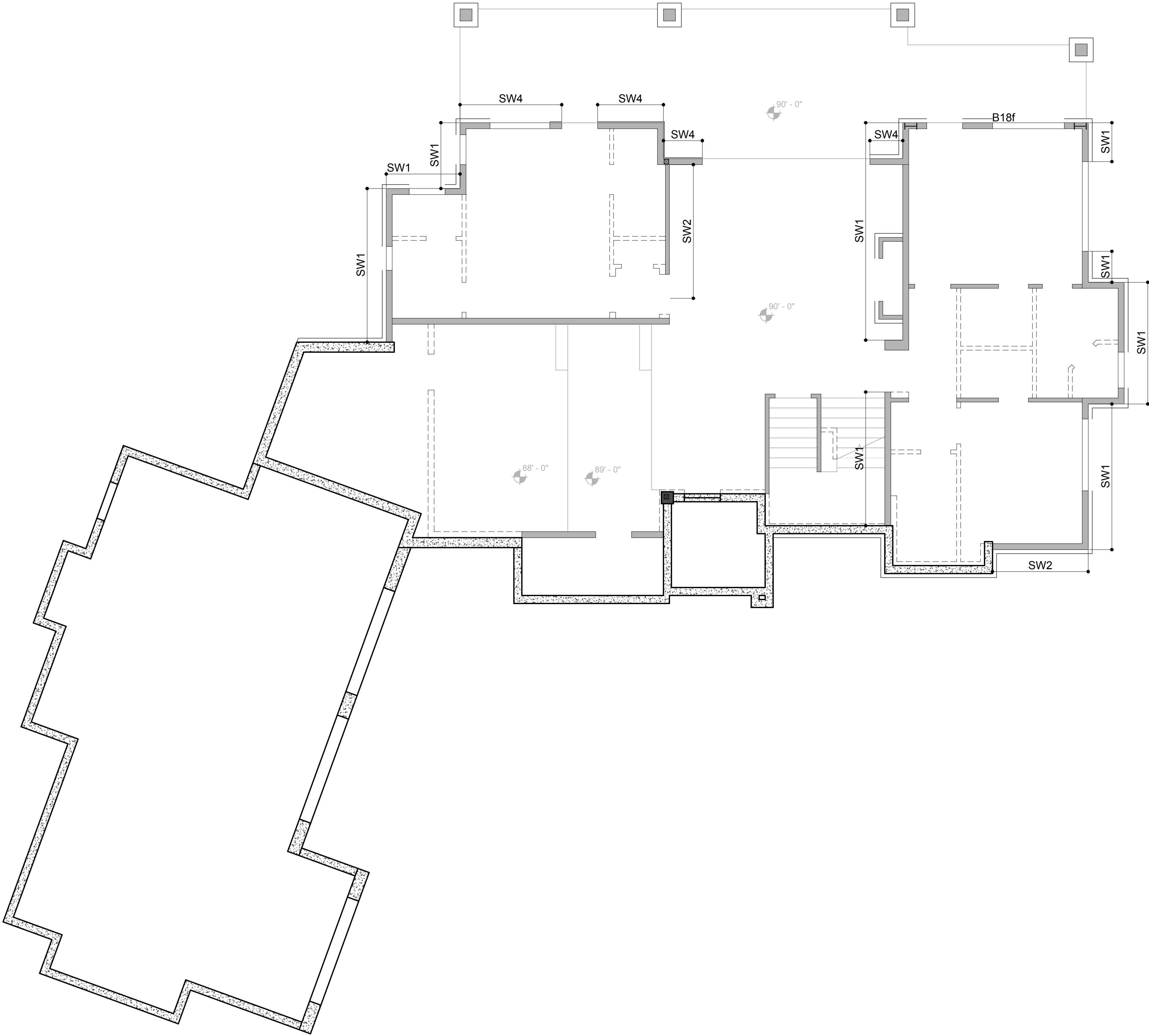
9. SW1 - See Detail #47.

10. SW2 - See Detail #47.

11. SW3 - See Detail #48.

12. SW4 - See Detail #49.

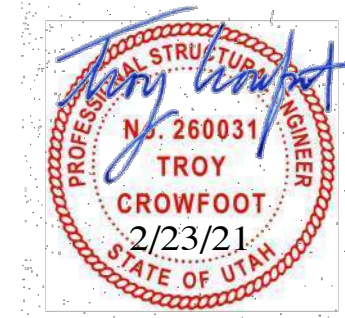
13. SW5 - See Detail #50.



Basement Shear Walls

SCALE 3/16" = 1'-0"

SEAL:



DATE: Feb. 23, 2021
REVISION: 2104
JOB #:

SHEET NUMBER

S5

Red Ledges 29

Red Ledges Lot #29
Heber, Utah

Basement Shear Walls

BearGhost Inc.
Residential Structural Engineering
10513 North Iverson Lane
Highland, Utah 84003
Phone (801) 360-1200

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SHEAR WALL SCHEDULE								
LABEL	SHEATHING		SPAN RATING	BLOCKED	NAILING			
	THICK.	TYPE			NAILS	EDGE	FIELD	BOUNDARY
SW1	7/16"	OSB	24/0	YES	8d	6"	12"	6"
SW2	7/16"	OSB	24/0	YES	8d	4"	12"	4"
SW3	7/16"	OSB	24/0	YES	8d	3"	12"	3"
SW4	7/16"	OSB	24/0	YES	8d	2"	12"	2"
SW5	3/4"	CDX	40/20	YES	(2)10d	3"	12"	3"

1. ALL NAILS, ARE COMMON NAILS.
(8d common nails: Shank diameter .131", Length 2 1/2".)
(10d common nails: Shank diameter .148, Length 3".)

2. NAILS ARE TO BE DRIVEN FLUSH WITH TOP OF SHEATHING.
(Do not over drive nails.)

3. STAGGER NAILS AT COMMON PANEL EDGES.

4. MST - See Detail #42.

5. RJ - See Detail #43.

6. HDU2 - See Detail #44.

7. HDU5 - See Detail #45.

8. ST - See Detail #46.

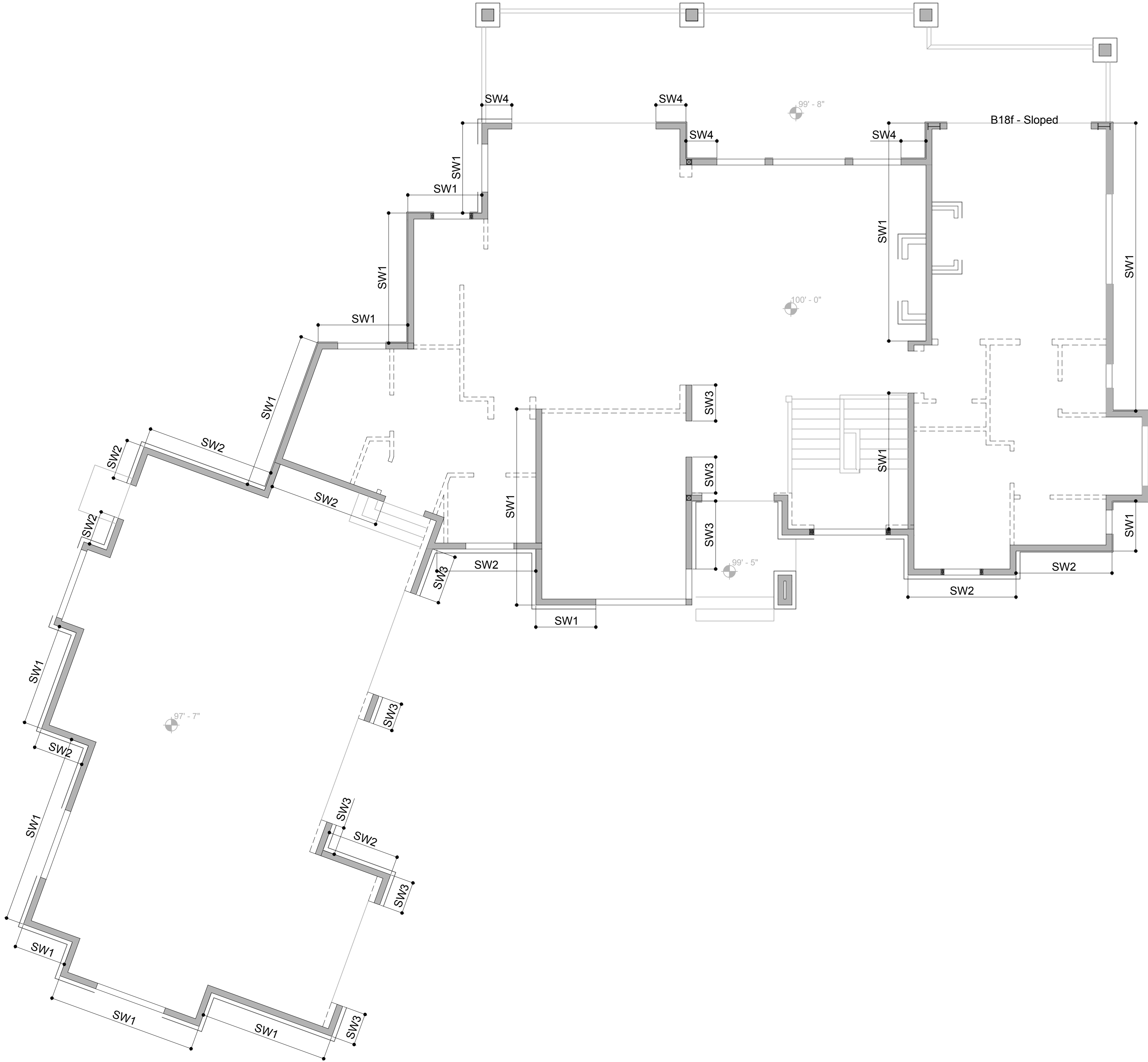
9. SW1 - See Detail #47.

10. SW2 - See Detail #47.

11. SW3 - See Detail #48.

12. SW4 - See Detail #49.

13. SW5 - See Detail #50.

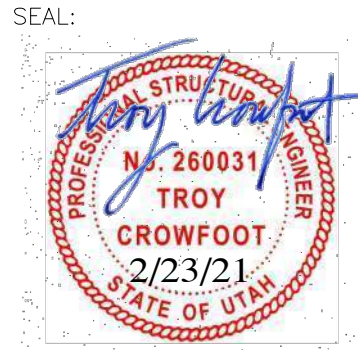


Main Floor Shear Walls

SCALE 3/16" = 1'-0"

BearGhost Inc.
Residential Structural Engineering
10513 North Iverson Lane
Highland, Utah 84003
Phone (801) 360-1200

Red Ledges 29
Red Ledges Lot #29
Heber, Utah
Main Floor Shear Walls



DATE: Feb. 23, 2021
REVISION: 2104
JOB #:

SHEET NUMBER

S6