#### **PROJECT NAME**

# Red Ledges -Lot 29

# Red Ledges, Lot 29

## **PROJECT INFORMATION**

**OWNER:** David & Cheryl Llewellyn

**DESIGNER:** Inouye Design Ph. 801-373-0909 1443 West 800 North ste. 203 Orem, Utah 84057

**CONTRACTOR:** Triple J Builders LLC 1343 S 2240 E. Heber City, Utah Ph. 435-671-5038

STRUCTURAL ENGINEER: Bearghost Inc. Ph. 801-360-1200 10513 North Iverson Lane Highland, Utah 84003

**GEOTECHNICAL ENGINEER:** 

**INTERIOR DESIGNER:** 

Heber, Utah

## **DESIGN CRITERIA**

## Governing Structural Codes: 2018 IBC, 2015 IRC, Utah R156-56

Location: Elev. 5,771 ft.

Gravity Loads: Roof DL: 25 psf Roof LL: 45 psf (Pg = 21 psf) Floor DL: 25 psf Floor LL: 40 psf Walls: 10 psf (interior), 12 psf (exterior)

Seismic: V = .076 \*W V = .140 \*W Design Category: D0

Wind: 115 mph (V ult), Exposure C

Foundation: Bearing capacity 1500 psf (Assumed; field verify)

Frost Depth: 36 inches (Assumed; field verify)

#### **SQUARE FOOTAGE**

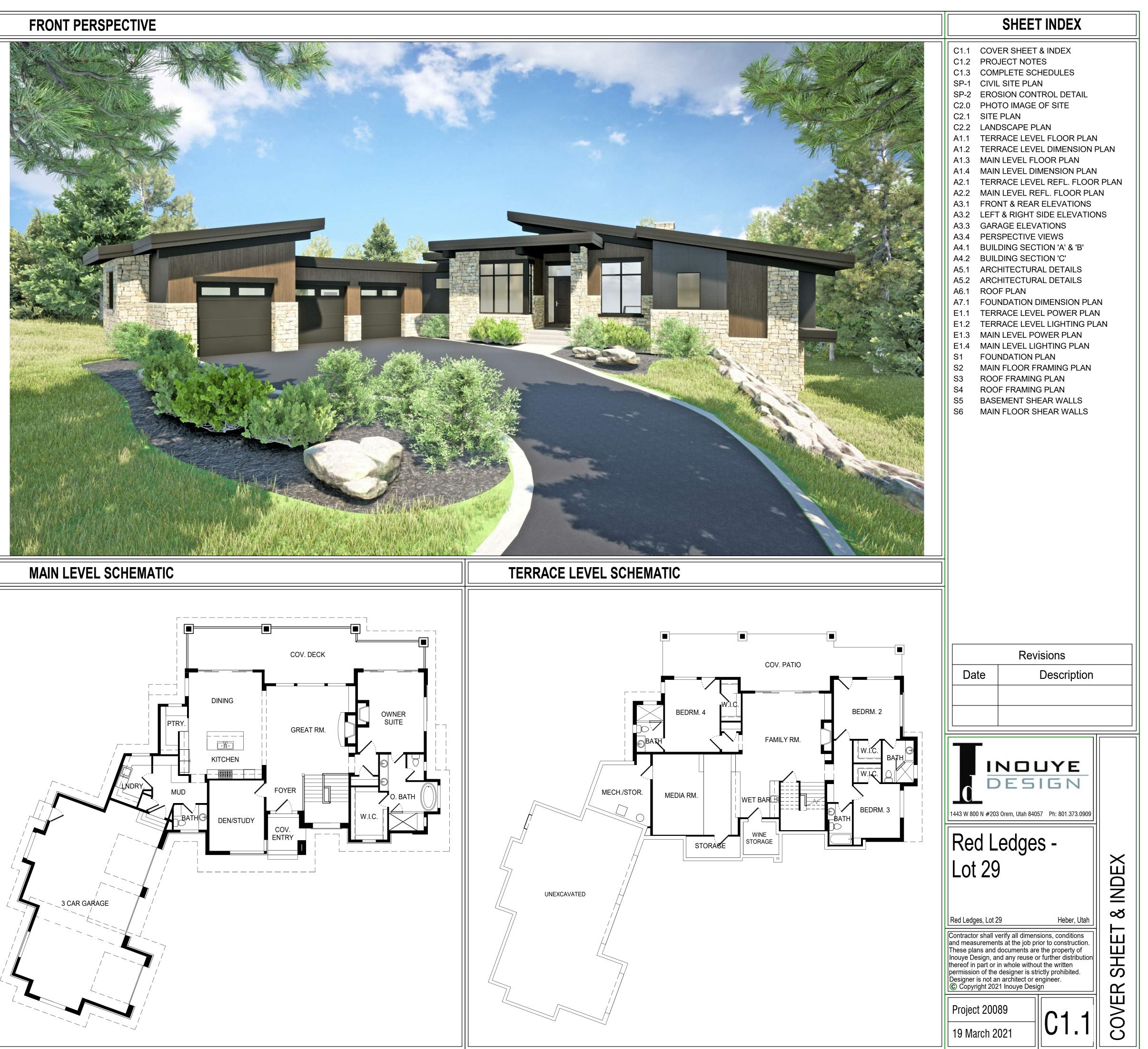
**TERRACE LEVEL** 1876 SF Living Space 252 SF Storage

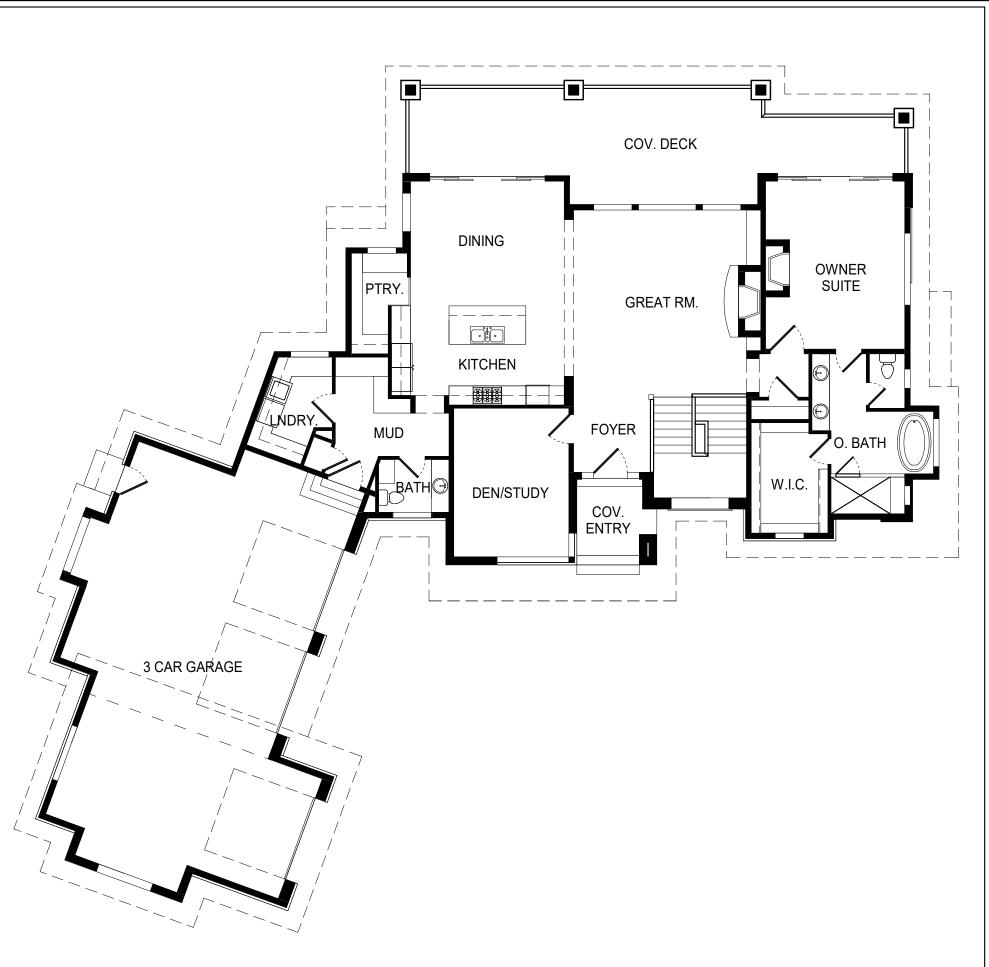
MAIN LEVEL Garage Space Living Space

1136 SF 2142 SF

TOTAL Garage Space Living Space Storage

1136 SF 4018 SF 252 SF







## **CONSTRUCTION SPECIFICATIONS & NOTES**

#### **GENERAL NOTES:**

1) All work shall conform to the minimum standards of the International Building Code, any other regulating agencies which have authority over any portion of the work, and the codes and standards listed in these notes and specifications. All specifications noted shall be the latest approved revision or Concrete' (ACI 318) and the 'Specifications for Structural Co edition. The General Contractor shall review and approve all shop drawings prior to submitting them to For Buildings' (ACI 301) latest approved editions, with modifi the Designer or Engineer. A reviewed copy of all shop drawings shall be kept at the construction site for reference. The shop drawing review shall not relieve the General Contractor of any responsibility for completion of the project according to the contract documents.

2) Structural drawings and specifications represent the finished structure, not the method of construction. The General Contractor shall be responsible for all measures necessary to protect the structure during construction. These measures include, but are not limited to bracing, shoring, etc. Shoring & bracing shall remain in place until all permanent members are in place and connections complete. Observation visits to the site by the Engineer or his representative shall not include inspection of these items.

3) Construction materials shall be spread out if placed on framed floors or roof. Loads shall not exceed strengths within 28 days after placement (UNO): the design live load per sq. ft. Provide adequate shoring or bracing where structure has not attained design strength.

4) It shall be the responsibility of the General Contractor to coordinate with all trades, & all items that are to be integrated into the structural system. The civil, structural, mechanical, plumbing, and electrical drawings are supplementary to the architectural drawings. it shall be the responsibility of the contractor 5) Maximum concrete slump shall not exceed four inches. to check with the architectural drawings before proceeding withinstallation of civil, structural, mechanical, plumbing, and electrical work. should there be any discrepancies between the architect's and the consulting engineer's drawings and specifications that would cause a conflect. It shall be corrected by the contractor at his expense and at no additional expense to the owner or architect. It is the responsibility of the contractor to examine all conditions prior to submitting bids or commencing with work when required by current weather conditions. construction. Discrepancies in the drawings or between the drawings and actual field conditions shall be reported to the architect and to the owner.

5) See Architectural drawings for the following: (U.N.O.)

- -Size and location of door, window, floor, and roof openings.
- -Size and location of all interior and exterior non-bearing partitions -Size and location of all curbs, drains, depressed areas, slopes, changes in level, grooves, chamfers, inserts, etc.
- -Floor and roof finishes.

-Dimensions not shown on structural drawings.

- 6) See Mechanical and Electrical drawings for the following (U.N.O.) -Pipe runs, sleeves, trenches, hangers, wall and slabs, openings, etc.
  - -Electrical conduits, boxes, and outlets in walls and slabs.
  - -Concrete insert requirements for mechanical and electrical.
  - -Size and location of machine or equipment bases, anchor bolt requirements, etc.

7) Openings larger than 6" shall not be placed in slabs, decks, walls, etc., unless specifically detailed on the structural drawings. Notify the Structural Engineer when drawing by others who above conditions located in structural members.

8) The engineer shall be notified forty-eight hours in advance prior to any of the following:

-Placing any concrete. -Closing any forms. -Grouting any masonry. -Completing the nailing of any sheathed wall or deck. -Completing the welding of steel decking.

9) Observation visits by the Engineer or his representative shall neither be construed as inspection nor piers, and columns, 1 1/2" approval of construction.

10) All symbols and abbreviations used on the plans are considered to be construction standards. if the a corner, add corner bars to lap 40 bar diameters from each contractor has questions regarding abbreviations of thier exact meaning, the architectect shall be notified for clarification.

11) Details marked shall apply in all cases unless specifically indicated otherwise.

12) All rubbish and debris resulting from demolition and/or new work shall be recycled and/as disposed of off-site and shall not be allowed to accumulate.

13) Offset studs where required so that finish wall surface will be flush. If structural panels are required on a wall plane, the entire wall plane shall be furred or finished flush.

14) Install metal corner beads at all exposed wallboard edges. Install casing beads wherever wallboads plaster, ect. abuts a dissimilar finish matterial and provide sealant as required.

15) Contractor shall provide and install all stiffeners, bracing, back-up plates, and supporting brackets required for the installation of all casework, stair railing, toilet accessories, partitions, and of all mounted 14) Reinforcing around openings in concrete walls, unless or suspended mechanical, electrical, or misc. equipment.

16) Door sizes shown on plan are opening sizes. allowance for thresolds, ect., shall be taken off the doors. Doors and frames shall be reinforced, where required for closures, stops and hardware.

17) All doors shall be provided with a seal, astral, or baffle at the head and sill to prrevent air leakage

18) All construction shall be preformed in accordance with the state construction safety regulations.

19) All gypsum wall board required by IRC R702.3

20) Pools, spas, wall fences, patio covers, retaining walls, and other freestanding structures require separate review and permits.

21) All "or equal" substitutions must be submitted to, and approved by the city building official prior to installation of the time.

22) Developer/contractor/ owner resonsible for the verification of existing curb location from the property span. The bars parallel to the temperature steel shall run 40 bar

23) Inspection required for Stucco Installation.

24) A permanent certificate shall be posted on or in the electrical distribution panel listing the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, and/or floor) and ducts outside the conditioned spaces; U-factors of windows and the solar heat gain coefficient of windows. The type and efficiency of heating, cooling and service water heating equipment shall also be listed. Per IRC N1101.9

25) Fire block stud spaces at soffits, floor and ceiling joist lines, at 10' vertically and horizontally, and at any other locations not specifically mentioned which could afford passage for flames, Per IRC R302.11

26) All plumbing installations shall comply with 2015 IRC

27) All mechanical installations shall comply with 2015 IRC & IFGC

#### CONCRETE:

1) All phases of work pertaining to the concrete construction conform to the 'Building Code Requirements For Reinforced as noted in the drawings or specifications.

2) Concrete mixes shall be designed by a qualified testing laboratory and approved by the Structural Engineer. All cond contact with the earth shall contain Type I Portland cement noted otherwise (U.N.O.). All concrete shall be air entrained = -1%.

Calcium chloride shall not be used.

4) Concrete shall have the following minimum compressive

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	Footings	3,000 psi		
	Foundations	4,000 psi		
	Interior Flatwork	4,000 psi		
	All Exterior Concrete	4,000 psi		

6) All concrete shall be thoroughly cured according to ACI recommendations. Follow ACI 306R "Cold Weather Concret and ACI 305 "Hot Weather Concreting" for all concrete and

7) Conduits and pipes embedded in concrete shall conform requirements in Section 1906.3 of Volume, II, Uniform Buildi Code.

8) No aluminum or product containing aluminum or any meta injurious to concrete shall be embedded in concrete.

9) Interior concrete slabs-on-grade shall be a minimum of 4 in thickness UNO, with sawn or preformed joints at maximum foot dimensions each way. Exterior concrete slabs-on-grade have construction joints at not more than 10 to 12 feet on certain each way. Sawn joints shall be 1/4 slab thickness in depth a be cut as soon as surface allows and not more than 12 hours concrete placement. Construction joints shall be made and I as to least impair the strength of the structure and shall be a by the Architect/Engineer. Provide 2" x 4" keyway in all verti horizontal joints. All reinforcing bars shall be continuous thro joints (UNO).

10) Clear coverage of concrete over outer reinforcement bar be as follows: (UNO)

-For concrete placed directly against earth, 3" cover -For concrete surfaces exposed to weather, 1 1/2" cov

 For concrete surfaces exposed to ground after removing the surfaces exposed to ground the surfaces exposed to forms, 2" cover

-For concrete surfaces exposed to ground or weather and walls, 3/4" cover; joists or waffle beams, 1" cover; be cover.

11) Where concrete girths, beams, or walls are continuous 2" of the outer face and shall terminate in a standard hook or bend.

12) Reinforce all concrete walls as follows: (U.N.O.)

Thickness	Horiz. Reinf.	Vert. Reinf.
6" wall	#4 at 16" o.c.	#4 at 18" o.c.
8" wall	#5 at 15" o.c.	#4 at 18" o.c.
10" wall	#5 at 12" o.c.	#4 at 16" o.c.
12" wall	#4 at 16" o.c e.f.	. #4 at 18" o.c e
14" wall	#5 at 18" o.c e.f.	. #4 at 18" o.c e

13) Place vertical steel in center of wall except 12 in. and larger, then place one curtain of steel at each wall face (e.f.)

otherwise noted and in addition to the regular wall reinforcement, to be at least one #5 horizontal bar for each 5" of wall thickness or fraction thereof with a minimum of (2) #5 bar placed 2" above the opening. The minimum depth of wall (in inches) over the opening shall be 1/2 times the span of the opening (in feet) or 12", whichever is greater. At the sides and across the bottom of openings, add two #5 bars that extend 24" beyond the corners of the opening.

15) Bars shall never be smaller than scheduled wall reinforcing. Reinforcing dowels from the footings shall be the same size and spacing as the vertical reinforcement in the wall above. Run dowels 40 bar diameters into wall and same into footings. Position dowels before placing concrete.

16) Around openings in concrete slabs, unless otherwise scheduled, add reinforcing equivalent to bars cut by opening. The bars parallel to the main reinforcement shall run the full length of the diameters each way beyond the opening.

17) Provide expansion joints in curb and gutter at 40' on center and at each end of a radiused curb with contraction joints at 10' on

18) See civil plans for ground elevations, pad elevations, corner elevations, and natural grade.

19) See soils report as prepared by engineer for additional req's during construction

## **ARCHITECTURAL SPECIFICATIONS & NOTES**

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١	WOOD CONSTRUCTION:	GENERAL NOTES:
on shall ed Concrete	1) All phases of work pertaining to wood framing or wood construction shall conform to the requirements of the 2015 IBC, "INTERNATIONAL BUILDING CODE".	1) The contractor shall verify all dimensions & site conditions prior to starting construction. Contractor shall verify verify sizes and locations of all mechanical and
difications	<ol> <li>All wood beams, joists and columns shall be #2 Douglas Fir (d.f.) grade lumber or better (U.N.O.) Micro-lam beams shall have a minimum allowable bending stress of 2,600 psi.</li> </ol>	electrical pads and bases as well as power or water and drain installations with equipment manifacturers before proceeding with work. changes to accommodate field conditions or substitutions shall be made without additional charge to owner. During construction, the contractor shall field verify all dimensions prior to fabrication
oncrete in t unless ed by 6%	<ol> <li>All glue laminated timber members shall have the following minimum stress grade lumber:</li> </ol>	or construction in any area. Inouye Design shall be notified of any discrepancies or inconsistencies. All omissions or conflict between the various elements of the workir drawings &/or specifications shall be brought to the attention of Inouye Design &/or the second s
<b>y</b> -	1. Bending = 2400 psi 2. Tension = 1200 psi 3. Shear = 190 psi	structural engineer before proceeding with any work involved. In case of conflict, follo the most stringent requirements as directed by Inouye Design & the engineer without any additional cost to the Owner.
/e	4. Compression parallel to grain = 1650 psi	DÓ NOT SCALE THE WORKING DRAWINGS!
	<ol> <li>Glue laminated structural members shall conform to the U.S. Department of Commerce Commercial Standard PS-56 and "AMERICAN INSTITUTE OF TIMBER CONSTRUCTION".</li> </ol>	2) The typical details shall be used wherever applicable unless otherwise noted on the drawings. Notes and details on drawings shall take precedence over general not typical details, & specifications.
	5) All structural plywood shall be Structural I or Structural II grade.	3) The contractor shall investigate the site during clearing, excavation & other earth work operations for filled excavations, buried structures or unnatural soil conditions. If any of these conditions are found, Inouye Design & the geotechnical engineer shall
	6) All plates or other lumber in contact with concrete or within 6" of earth shall be Foundation redwood all marked or branded by	be notified immediately.
reting" d masonry	the Redwood Inspection Service or pressure treated for moisture protection.	4) All construction work shall conform to the minimum standards of locally approved building codes & regulations.
m to the Iding	7) Floor joists shall have all blocking, bracing, bridging, and etc. as recommended by the IBC and the manufacturer.	5) Contractor shall be responsible for safety & protection & all rubbish and debris resulting from demolition an/or new work shall be recycled and/or disposed of off-site and shall not be allowed to accumulate.
etal	<ol> <li>Horizontal edges of wall sheathing shall be blocked with 2" nominal blocking. Edges of floor and roof sheathing shall be blocked and nailed as indicated on drawings.</li> </ol>	6) Observation visits to the site by Inouye Design shall neither be construed as inspection nor approval of construction.
4 inches um 20	9) Trusses and/or web joists shall have all blocking, bracing, bridging, and etc. as recommended by the manufacturer.	7) All fill and back fill shall be compacted to a minimum of 95% of maximum relative density for building construction and 90% for general site work.
de shall center n and shall	10) Walls shall run continuous between horizontal support points, unless adequate approved bracing is provided.	8) Grading shall allow for positive drainage (2 percent minimum) away from the building, other footings & foundations, drives, & sidewalks. All downspouts shall drain onto 3 foot long splashblocks sloping away from foundations or into
urs after d located	<ol> <li>Nails or other approved sheathing connectors shall be driven flush but shall not break the surface of the sheathing.</li> </ol>	approved storm drain system.
e approved ertical and nrough	REQUIRED MINIMUM NAILING SCHEDULE: (see IBC Table No. 2304.9.1)	9) All bearing earth to be undisturbed earth or compacted fill. The area on which the fill is placed must be frost-free. The fill shall then be placed in layers not to excee 8 inches in depth & compacted. All fill & backfill shall be compacted to a minimum or
Ū	Stud to platestoenail 4-8d or end nail 2-16d	of maximum relative density as per ASTM D depth & compacted. All fill & backfill sh compacted 1557-78 at optimum moisture.
oars shall	Roof blockingtoenail 5-8d nails or 1-A35 Double top platesface nail 16" o.c. staggered	10) The structure is not stable until all diaphragms, shear walls & associated connect
over. oval of	1-16d Double top plates Lap Spliceface nail 8-16d nails Double studsface nail 16d @ 24" o.c.	have been made. It is the responsibility of the contractor to design & install all requir temporary bracing and shoring. Do not backfill walls until floor at top of walls is in pla or adequate temporary bracing is provided.
er: slabs beams,	Corner stud and angles16d @ 24" o.c. Rim joist to silltoenail 16d @ 6" o.c. Joist to sill or girders2-10d nails	11) All symbols and abbreviations used on the plans are considered to be construction standards. if the contractor has questions regarding abbreviations of thier exact mean the architecter chall be petitied for clarification.
s around ch	Double sole plates togetherface nail 16d @ 8" o.c. Bridging to joist2-8d toenailed at each end Plywood to roof joists, trusses or studs - see nailing schedule	<ul> <li>the architectect shall be notified for clarification.</li> <li>12) Minimum headroom clearance at stairs shall be 6'-8" measured vertically from a plane parallel and tangent to the tread nosing to the soffit above at all points.</li> </ul>

direction. Reinforcing bars in the interior faces shall extend to within 12) Fire and drafts stops shall be provided throughout as required per IRC R502.12

## FOUNDATIONS:

1) Footings are designed based on a soil bearing capacity of 1500 psf.

2) The contractor shall provide for the design and installation of all cribbing, sheathing, and shoring required to safely and adequately retain any excavations.

3) Footings shall be placed on undisturbed soil or structural fill. Excavations for footings are to be approved by the Geotechnical Engineer prior to placement of concrete or reinforcing. The Contractor shall give the Geotechnical Engineer 48 hrs notice for site observations. The Geotechnical Engineer shall submit letter of compliance to the Owner and the Structural Engineer. All retaining walls, building walls, pits, etc. must have attained their design strength and/or support prior to backfilling. Exception - if bracing is to be used to support walls and etc. for early backfilling, contractor is responsible for design, permits and installation of such bracing.

4) Excessive wetting or drying of the foundation excavation and the floor slab areas should be avoided during construction.

5) All fill supporting concrete slabs, footings, or etc. shall be moistened and compacted to at least 95% of the maximum dry density as determined by ASTM D-1557 (Modified Proctor). All other fill shall be compacted to a minimum relative compaction of ninety (90) percent of maximum dry density. Compaction testing shall be performed by an approved testing agency and the results submitted to the Structural Engineer. Sufficient field density tests shall be performed to certify building pads as conforming to the specifications.

6) Rebar inspections for foundation walls over 8' high, forms are not to be installed on one side until after the rebar has been inspected and approved.

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a plane parallel and tangent to the tread nosing to the soffit above at all points.

13) Provide tempered glass as required by IRC code and by other applicable codes.

14) Mechanical ventilation for toilet compartments, bathrooms, and laundry rooms shall be capable of providing 5 air changes per hour per IRC P3201.7

15) Where garage doors with springs occur, the following shall apply: Springs shall be permanently identified, and indicate the maximum recommended stretch. Both springs and containment devices shall bear information stating that they have manufactured in accordance with requirements of the State department of housing and community development.

16) Showers shall be finished to a min. of 72" above drain with surface materials not adversely affected by moisture per IRC P2709. See plans for actual plans.

17) Lighting fixtures in closets are to be a minimum of 18" from shelves.

18) All water heaters shall be provided with seismic straps per IRC P2801.8

19) Pools, spas, wall fences, patio covers, retaining walls, and other freestanding structures require separate review and permits.

20) All "or equal" substitutions must be submitted to, and approved by the city building official prior to installation of the time.

21) Note that all insulation materials shall have a flame-spread rating not to exceed 25 and a smoke density not to exceed 450. IRC R320.2

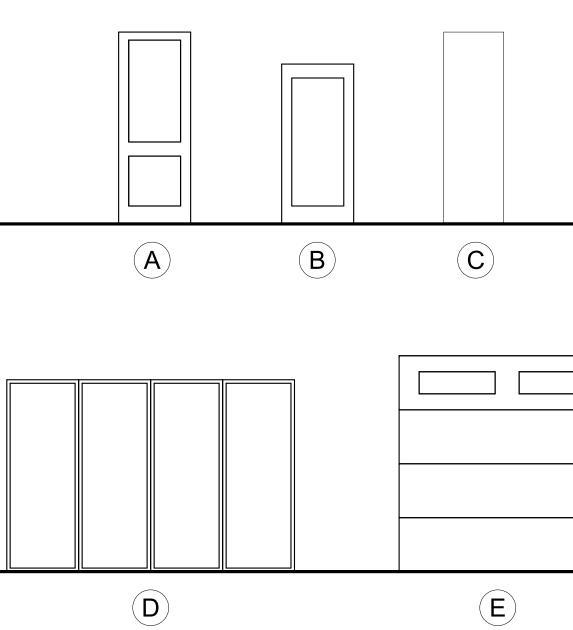
22) Provide anti-scalding valves at showers and tubs/showers.

23) Developer / Contractor / owner responsible for the verification of existing curb location from property line.

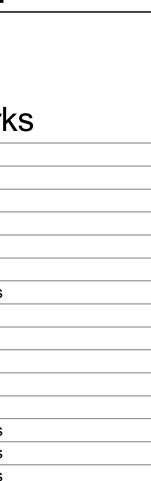
	GENERAL & KEYED NOTES
NOOD:	
1) All wood beams, joists, and columns shall be #2 Douglas Fir (d.f.) grade lumber or better (U.N.O.)	
2) Truss loads shall be as indicated of drawings &/or as shown in structural engineering calculations. Trusses shall be designed for a maximum total load deflection of 1/240 & a maximum live load deflection of 1/360.	
3) All truss members shall be #2 Douglas Fir or better.	
4) Provide panel joints at all bearing walls and point loads.	
<ol> <li>No joint shall have more than 1/16" average gap between bearing surfaces. All lumber at plates shall be a complete section with no knots or wanes.</li> </ol>	
6) All trusses are to be engineered by the truss fabricator. Shop drawings are to be submitted to the structural engineer for each truss type. All trusses shall be designed by a registered professional engineer & the Shop drawings must be stamped by the engineer.	
<ul> <li>7) Truss shop drawings shall include the following: <ul> <li>A. ICC &amp; C&amp;R 9 certification indicating the allowable plate loads.</li> <li>B. Duration factors or stress reduction factors used in the design of the lumber and plates.</li> <li>C. Top and bottom chord design loads in psf.</li> <li>D. Truss configuration showing lumber species and grades used together with plate size, gauge and location.</li> <li>E. Engineer's stamp and signature.</li> <li>F. Name and trademark of plate manufacturer, the truss fabricator, and the project name and address.</li> <li>G. Computed mid-span deflection for total load and live load.</li> </ul> </li> </ul>	
<ul> <li>H. Forces in each member and indication of whether the member is in tension or compression.</li> <li>No wood shall be nearer than 8" to earth unless separated by concrete at least 3" in thickness with an impervious membrane installed between</li> </ul>	
the earth and the concrete. This includes decks and siding. Per IRC R317	
CONCRETE & REINFORCING:	
<ol> <li>Before concrete is poured, check with all trades to insure proper placement of all openings, sleeves, curbs, conduits, bolts, inserts, etc. relating to work.</li> </ol>	
<ol> <li>All reinforcement bars shall be securely anchored to the forms. The minimum spacing of reinforcing bars from surface shall be as follows:</li> </ol>	
A. Poured against the earth - 3 inches B. Walls - 2 inches C. Beams and Columns - 1-1/2 inches D. Slabs - 1-1/2 inches	
<ol> <li>All exposed to view concrete shall be stoned smooth while green, or as directed by Inouye Design. No grout plaster shall be permitted.</li> </ol>	
4) Hardrock aggregates shall conform to ASTM C-33. Their maximum size shall be 3/4" except 1-1/2" may be used for footings.	
5) All dowels shall have at least 30 bar diameter embedment. Provide corner bars at II intersecting corners. Use same size bar & spacing as horizontal wall reinforcing.	
6) Formwork not supporting weight of concrete, such as sides of beams, walls columns, & similar parts of the work, may be removed after cumulatively curing at not less than 50 degrees F for 24 hours after placing concrete provided concrete is sufficiently hard to not be damaged by form removal operation, & provided curing & protection operations are maintained.	
Formwork supporting weight of concrete, such as beam soffits, joints, slabs & other structural elements, may not be removed in less than 14 days or until concrete has attained 75% of its design minimum compressive strength at 28 days.	
Support form facing materials with structural members spaced sufficiently close to prevent deflection. Fit forms placed in successive units for continuous surfaces to be accurately aligned free from irregularities & within allowable tolerances.	DESIGN
7) All concrete shall be properly vibrated in place using internal vibrating rods.	1443 W 800 N #203 Orem, Utah 84057 Ph: 801.373.0909
8) Protect freshly placed concrete from premature drying & excessive temperature as per ACI 318 & maintain without drying at a relatively constant temperature for a period of time necessary for hydration of cement & proper hardening.	Red Ledges -
9) Cold weather curing & protection requirements for concrete shall conform to the requirements of 2015 IRC section R402.2. When depositing concrete at freezing temperature or below, the concrete mix shall have a temperature of at least 50 F but not more than 80 F. The concrete shall be maintained at a temperature of not less than	Red Ledges, Lot 29 Heber, Utah
50 F & in a moist condition for not less than 7 days after placing or as directed by the structural engineer. The use of chemicals or additives to prevent freezing will not be permitted.	Red Ledges, Lot 29 Heber, Utah Contractor shall verify all dimensions, conditions and measurements at the job prior to construction. These plans and documents are the property of Inouye Design, and any reuse or further distribution thereof in part or in whole without the written permission of the designer is strictly prohibited. Designer is not an architect or engineer. © Copyright 2021 Inouye Design
	Project 20089
	Project 20089 19 March 2021

COMPLETE DOOR SCHEDULE						
Dr.	Quantity	Width	Height	Style	Swing	Remark
D1	2	3' - 6"	8' - 0"	Α	Left Hand	
D2	5	3' - 0"	8' - 0"	A	<b>Right Hand</b>	
D3	3	2' - 8"	8' - 0"	A	Right Hand	
D4	3	2' - 6"	8' - 0"	С	<b>Right Hand</b>	Tempered glass Shower Door
D5	1	2' - 4"	8' - 0"	A	<b>Right Hand</b>	
D6	1	2' - 8"	8' - 0"	Α	Left Hand	
D7	2	12' - 0"	8' - 0"	D	Sliding	Exterior w/ double paned glass
D8	6	3' - 0"	8' - 0"	Α	Left Hand	
D9	3	2' - 6"	8' - 0"	A	Right Hand	
D10	1	3' - 6"	8' - 0"	A	Left Hand	Metal w/ Self closing hinges
D11	3	9' - 0"	9' - 0"	E	Overhead	Garage Door
D12	4	2' - 6"	8' - 0"	A	Left Hand	
D13	1	3' - 0"	8' - 0"	В	Right Hand	Exterior w/ double paned glass
D14	1	3' - 0"	8' - 0"	В	Left Hand	Exterior w/ double paned glass
D15	1	14' - 0"	8' - 0"	D	Sliding	Exterior w/ double paned glass

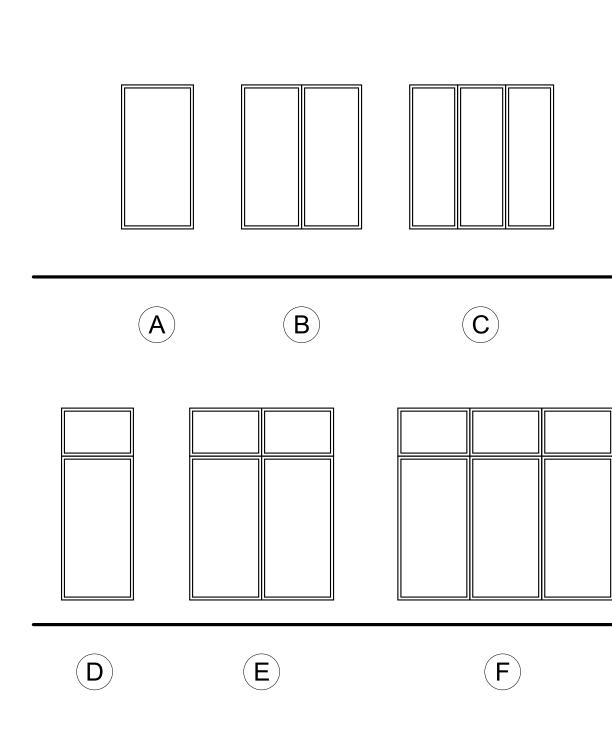
# DOOR STYLE LEGEND



	COMPLETE WINDOW SHEDULE						
Win.	Quantity	Width	Height	Style	Type	Action	F
W1	2	1' - 3"	8' - 0"	Α	Casement	fxd.	Tempered glass
W2	1	6' - 0"	8' - 0"	E	Casement	fxd., fxd.	(2) 3'-0" x 6'-0" w/
W3	1	3' - 0"	5' - 0"	Α	Casement	fxd.	
W4	1	2' - 0"	1' - 6"	Α	Casement	fxd.	Tempered glass
W5	1	5' - 0"	5' - 0"	Α	Casement	fxd.	Tempered glass
W6	1	2' - 0"	3' - 0"	Α	Casement	opp.	
W7	2	7' - 6"	2' - 0"	С	Casement	opp., fxd., opp.	(3) 2'-6" x 2'-0"
W8	4	3' - 0"	2' - 0"	Α	Picture	fxd.	
W9	2	6' - 0"	5' - 0"	С	Casement	opp., fxd., opp.	
W10	3	7' - 0"	1' - 6"	С	Picture	fxd.	
W11	1	4' - 0"	8' - 0"	D	Casement	opp.	4'-0" x 6'-0" w/ 2'-0
W12	1	3' - 0"	4' - 6"	Α	Casement	fxd.	
W13	1	4' - 0"	4' - 6"	В	Casement	fxd., opp.	
W14	1	6' - 0"	2' - 0"	Α	Picture	fxd.	
W15	1	6' - 0"	3' - 0"	С	Casement	opp., fxd., opp.	
W16	1	4' - 0"	2' - 0"	Α	Casement	opp.	Tempered glass
W17	1	7' - 6"	8' - 0"	F	Casement	fxd.	(3) 2'-6" x 6'-0" w/
W18	1	2' - 6"	8' - 0"	D	Casement	fxd.	2'-6" x 6'-0" w/ 2'-0
W19	2	4' - 0"	8' - 6"	D	Casement	fxd.	
W20	1	6' - 0"	8' - 6"	D	Casement	fxd.	
W21	1	5' - 0"	5' - 0"	В	Casement	fxd., opp.	
W22	1	2' - 6"	5' - 0"	Α	Casement	fxd.	
W23	2	6' - 0"	5' - 0"	В	Casement	fxd., opp.	(2) 3'-0" x 5'-0"
W24	2	3' - 0"	1' - 6"	Α	Casement	opp.	Tempered glass
W25	1	2' - 0"	3' - 0"	Α	Casement	fxd.	Tempered glass



# WINDOW STYLE LEGEND





<ol> <li>All exterior windows to be double glazed insulated glass u.n.o.</li> <li>Window manufacturer to provide tempered glass as req'd</li> <li>All windows in bedrooms to meet egress requirements as per IRC</li> <li>French door hardware to match other lever handles</li> <li>All doors to have decorative molding as per owner</li> <li>All exterior doors to have security hinges</li> <li>All interior windows to be single glazed</li> <li>All exterior windows to have U-value of .35 better</li> </ol>	r
INDUYE I HA3 W 800 N #203 Orem, Utah 84057 Ph: 801.373.0909	
Red Ledges - Lot 29 Red Ledges, Lot 29 Heber, Utah	
and measurements at the job prior to construction. These plans and documents are the property of Inouye Design, and any reuse or further distribution thereof in part or in whole without the written permission of the designer is strictly prohibited. Designer is not an architect or engineer. © Copyright 2021 Inouye Design 12 x 18 (sheet size): 1/8"=1'-0" 24 x 36 (sheet size): 1/4"=1'-0" Project 20089 19 March 2021	

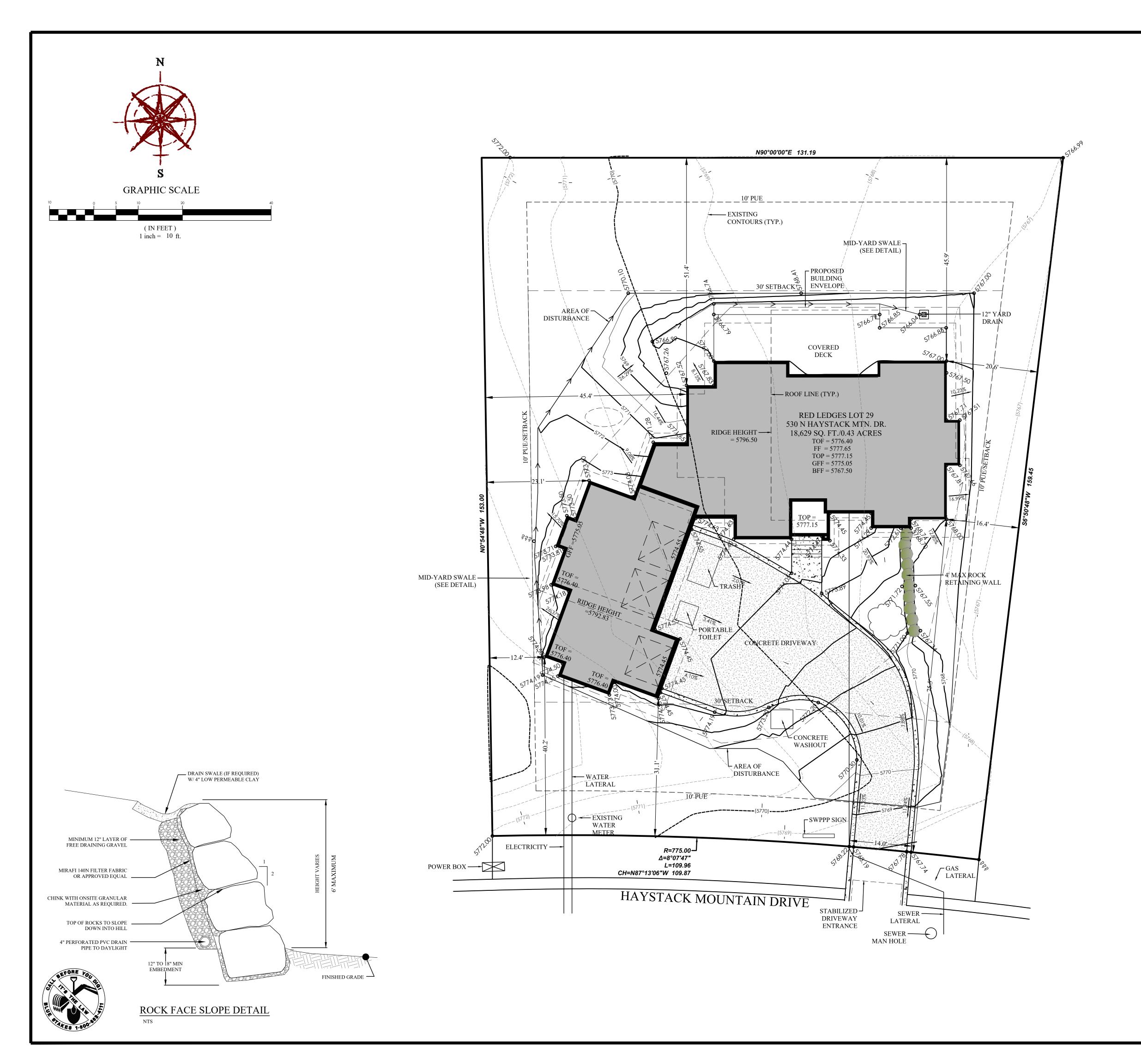
**GENERAL & KEYED NOTES** 

ULE

## Remarks

lass
-0" w/ 2'-0" transom, tempered glass
lass
lass
-0"
w/ 2'-0" transom
lass
'-0" w/ 2'-0" transom
w/ 2'-0" transom





#### **NOTES:**

1. DRAINAGE SWALES SHALL BE INSTALLED ALONG THE SIDE AND REAR PROPERTY LINES AS REQUIRED. SWALES SHALL REMAIN UNALTERED AND BE MAINTAINED BY THE PROPERTY OWNER.

2. ALL WINDOW WELLS TO BE 6" BELOW TOP OF FOUNDATION AND A MINIMUM OF 3" ABOVE FINISHED GRADE.

 ALL CONSTRUCTION TO BE DONE ACCORDING TO CITY STANDARDS AND SPECIFICATIONS.
 CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INCLUDING THE ELEVATION OF THE SEWER LATERAL.

5. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5.0%). R401.3

6. ROOF DRAINAGE TO BE CONVEYED (AS MUCH AS POSSIBLE) TO THE FRONT OF THE HOUSE AND TO THE STREET.

7. PROVIDE LANDINGS ON BOTH SIDES OF ALL EXTERIOR DOORS. LANDINGS MUST BE 36" DEEP (MIN.) R311.6.2

8. A TRASH DUMPSTER AND PORTABLE CONSTRUCTION TOILET SHALL BE PROVIDED AT ALL NEW CONSTRUCTION SITES.

9. ANY WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS
10. IT IS NOT ANTICIPATED THAT ANY CONSTRUCTION IN THE PUBLIC WAY WILL BE REQUIRED FOR THE PROJECT.
11. NOTIFY BLUE STAKES (801) 208-2100 OR BLUESTAKES.ORG

No. 8028950-2202

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SITE PLAN

1"=10

03/19/2021 Job #:

**SP-1** 

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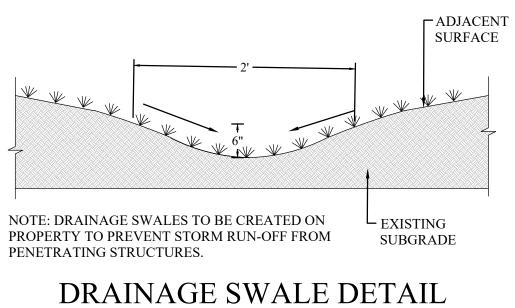
2

**LEGEND:** FF = FINISHED FLOOR TOF = TOP OF FOUNDATION TOP = TOP OF PORCH

GFF = GARAGE FLOOR BFF = BASEMENT FINISHED FLOOR

## $\frac{\text{SETBACKS:}}{\text{FRONT} = 30'}$ SIDE = 10'

SIDE = 10'REAR = 30'

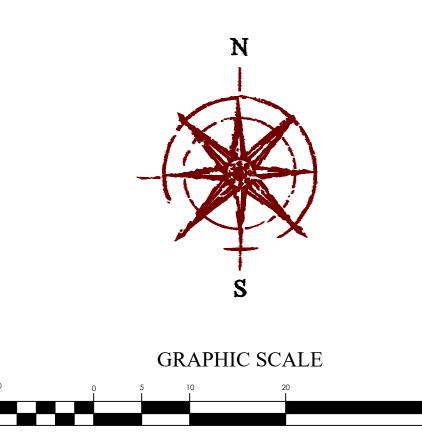






PA/T

21-012



(IN FEET) 1 inch = 10 ft.

#### **NOTES:**

1. DRAINAGE SWALES SHALL BE INSTALLED ALONG THE SIDE AND REAR PROPERTY LINES AS REQUIRED. SWALES SHALL REMAIN UNALTERED AND BE MAINTAINED BY THE PROPERTY OWNER.

2. ALL WINDOW WELLS TO BE 6" BELOW TOP OF FOUNDATION AND A MINIMUM OF 3" ABOVE FINISHED GRADE.

3. ALL CONSTRUCTION TO BE DONE ACCORDING TO CITY STANDARDS AND SPECIFICATIONS. 4. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. INCLUDING THE ELEVATION OF THE SEWER LATERAL.

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8. A TRASH DUMPSTER AND PORTABLE CONSTRUCTION TOILET SHALL BE PROVIDED AT ALL NEW

CONSTRUCTION SITES. 9. ANY WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS 10. IT IS NOT ANTICIPATED THAT ANY CONSTRUCTION IN THE PUBLIC WAY WILL BE REQUIRED FOR THE PROJECT. 11. NOTIFY BLUE STAKES (801) 208-2100 OR

BLUESTAKES.ORG 12. ALL RETAINING WALLS ABOVE 4', SWIMMING POOLS, SOLAR, GEO-THERMAL HEATING SYSTEMS, AND PHOTO-VOLTAIC AND WIND GENERATED ELECTRICAL SYSTEMS REQUIRE SEPARATE PERMITS, PLANS, SPECIFICATIONS, AND APPLICATIONS TO BE REVIEWED PRIOR TO THESE PLANS.

13. A GEOTECHNICAL INSPECTIONS WILL BE REQUIRED PRIOR TO FOOTING INSPECTION.

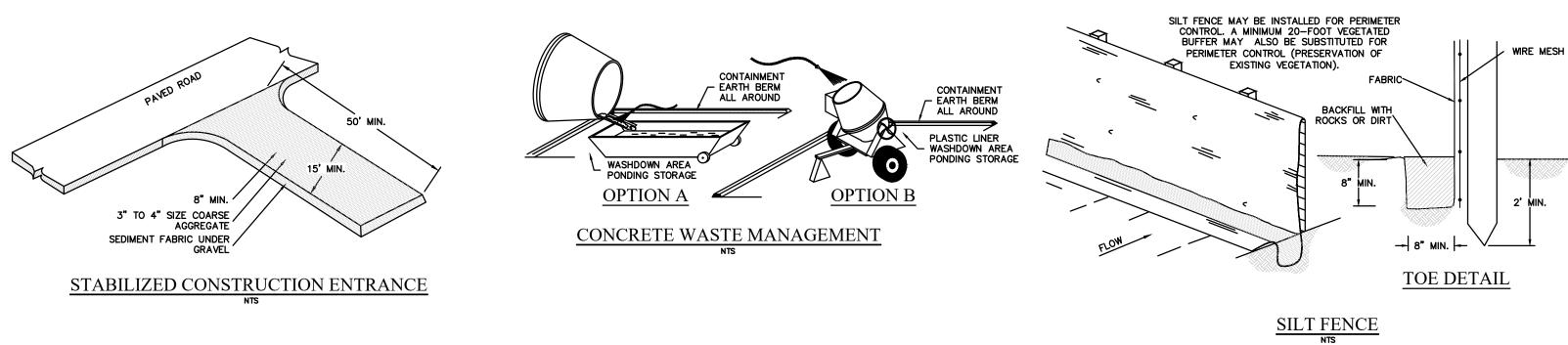
#### **LEGEND:**

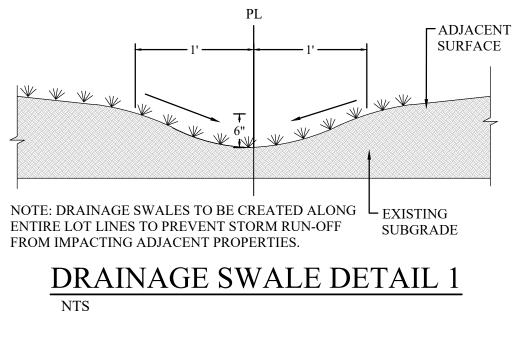
 $\overline{FF} = \overline{FINISHED} FLOOR$ TOF = TOP OF FOUNDATION TOP = TOP OF PORCH GFF = GARAGE FLOOR

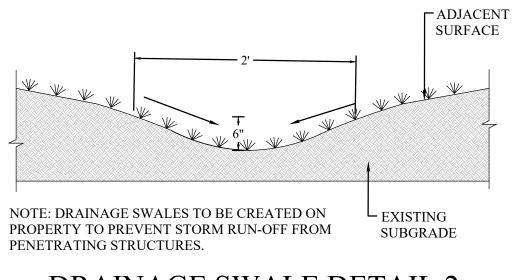
BFF = BASEMENT FINISHED FLOOR

#### SITE SLOPE NOTE:

1. ALL SLOPES STEEPER THAN 3:1 WILL REQUIRE THE INSTALLATION OF EROSION CONTROL BLANKETS. SEE DETAIL.

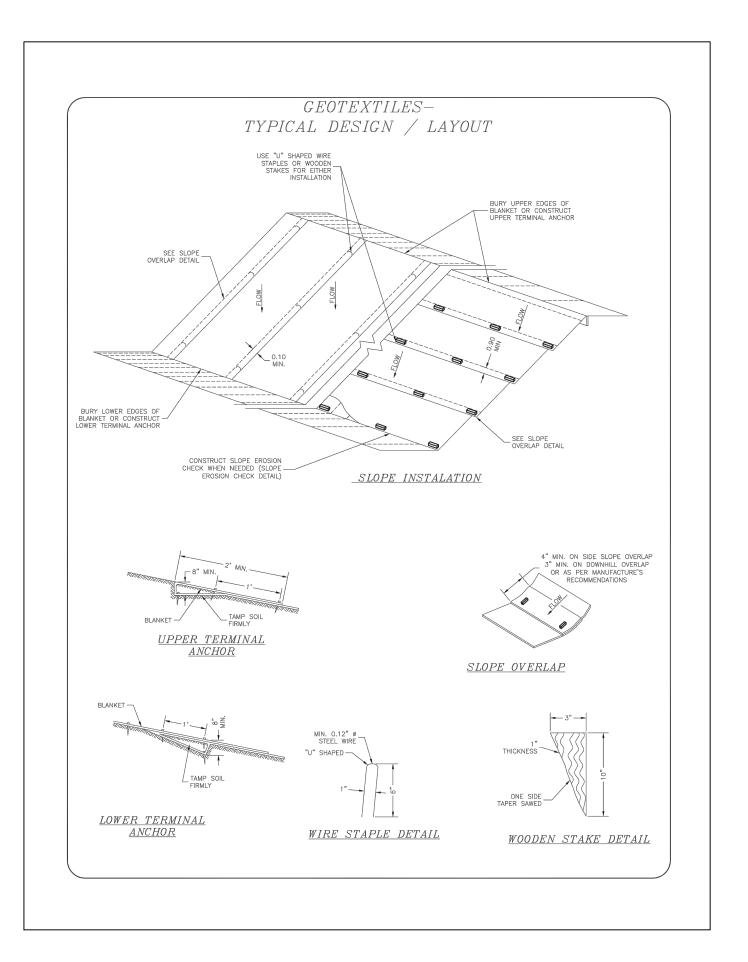


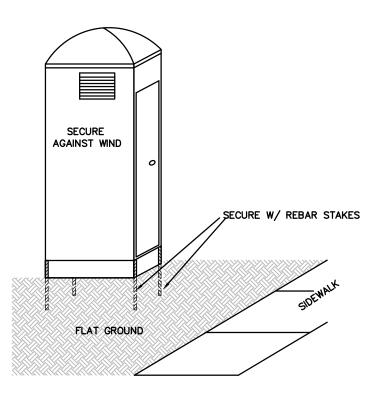




#### DRAINAGE SWALE DETAIL 2 NTS

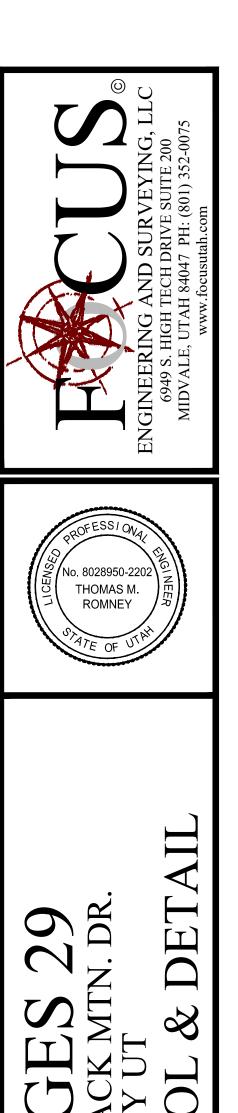






PORTABLE TOILET

	<b>INSPECTION TABLE</b>	
DRIVEWAY/SITE STAKING	REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. LOCATE/STAKETHE DRIVEWAY AT THE STREET AND AT THE ROAD RIGHT-OF-WAY / PROPERTY LINE AND LOCATE/STAKE ALL PROPERTY CORNERS WITH A 4' STEEL POST	ENGINEERING
ROUGH GRADING	REQUIRED PRIOR TO SCHEDULING A FOOTING INSPECTION. SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND DRIVEWAY MUST BE ROUGHLY GRADED ACCORDING TO PLAN	ENGINEERING
FOOTING	SCHEDULE AFTER STEEL IS IN PLACE AND BEFORE THE CONCRETE IS POURED.	BUILDING
FOUNDATION	SCHEDULE AFTER STEEL IS IN PLACE AND BEFORE THE CONCRETE IS POURED.	BUILDING
UNDER SLAB PLUMBING AND HEATING	BEFORE CONCRETE IS POURED OR PLUMBING HAS BEEN BACKFILLED	BUILDING
CERTIFICATE OF ELEVATION AND / OR SURVEY	PERFORMED BY A LICENSED SURVEYOR. REQUIRED PRIOR TO SCHEDULING A FLOOR FRAMING INSPECTION	BUILDING
FLOOR FRAMING INSPECTION	REQUIRED PRIOR TO PLACING FLOOR SHEETING AND INCLUDES FOOTING DRAIN INSPECTION.	BUILDING
SHEAR WALL	AFTER THE BUILDING IS UP TO THE SQUARE AND ALL SHEAR WALLS HAVE BEEN NAILED AND ALL OF THE TIE DOWNS AN SHEAR WALL CONNECTIONS HAVE BEEN INSTALLED.	BUILDING
FIRE SPRINKLERS	REQUIRED PRIOR TO FOUR WAY INSPECTION, WHEN REQUIRED BY THE LOCAL FIRE DISTRICT.	BUILDING
FOUR WAY	THIS INSPECTION IS PERFORMED AFTER ALL ROUGH ELECTRICAL, PLUMBING AND MECHANICAL HAS BEEN INSTALLED. ALL FRAMING IS COMPLETE, SHEAR WALLS PREVIOUSLY INSPECTED, AND TRUSS SPECIFICATIONS ARE ON JOBSITE FOR INSPECTOR TO READ.	BUILDING
WEATHER BARRIER / STUCCO LATH	WEATHER BARRIER SHALL BE INSPECTED PRIOR TO INSTALLING VENEER. APPROVED STUCCO I.C.C. RESEARCH REPORTS ON SITE.	BUILDING
GAS METER SET	REQUIRED BEFORE GAS METER CLEARANCE IS GIVEN TO QUESTAR	BUILDING
MASONRY WALL / BOND BEAM	STEEL IN MASONRY AND BEFORE CONCRETE / GROUT IS POURED BUILDING INSULATION PRE-SHEETROCK INSULATION CERTIFICATE REQUIRED	BUILDING
DRYWALL NAILING	THIS IS DONE BEFORE DRYWALL IS TAPED	BUILDING
POWER TO PANEL	BUILDING MUST BE UP WITH PERMANENT ROOF INSTALLED	BUILDING
DRIVEWAY PRE-SURFACING	SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND DRIVEWAY GRADED TO ITS FINAL CONFIGURATION	ENGINEERING
FINAL DRIVEWAY SITE INSPECTION	REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE. DRIVEWAY MUST BE SURFACED AND SITE MUST BE REVEGETATED (INSPECTIONS MAY BE SCHEDULED SEPARATELY)	ENGINEERING
FLOOD PLAIN ELEVATION CERTIFICATE	FEMA ELEVATION CERTIFICATE (IF APPLICABLE) REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY. FORM MUST BE FILED WITH FEMA AND A COP Y PROVIDED TO THE ENGINEERING DEPARTMENT	ENGINEERING
FINAL	ALL WORK IS DONE AND BUILDING COMPLETE	BUILDING
CERTIFICATE OF OCCUPANCY	REQUIRED PRIOR TO ANYONE OCCUPYING THE STRUCTURE. A CERTIFICATE OF OCCUPANCY WILL BE ISSUED ONCE THE FINAL CLEARANCES HAVE BEEN OBTAINED BY THE BUILDER AND BROUGHT TO THE BUILDING DEPARTMENTS OFFICE IN COALVILLE. 1) SNYDERVILLE BASIN RESIDENTIAL - FINAL FROM BUILDING DEPARTMENT, FINAL FROM ENGINEERINGDEPARTMENT, FINAL LETTER FROM SNYDERVILLE BASIN WATER RECLAMATION DISTRICT, FINAL WATER CONCURRENCY LETTER FROM APPROPRIATE WATER COMPANY, FINAL FROM PARK CITY FIRE DISTRICT (IN REQUIRED SUBDIVISIONS).	BUILDING
	2) EASTERN SUMMIT COUNTY - FINAL FROM BUILDING DEPARTMENT, FINAL FROM ENGINEERING DEPARTMENT, FINAL FROM FIRE DISTRICT, AND FINAL FROM HEALTH DEPARTMENT.	



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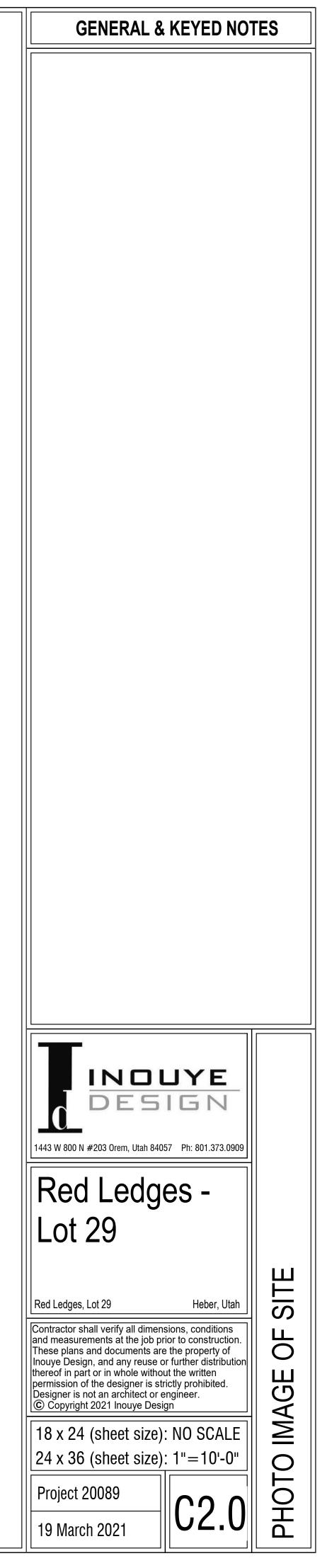
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EROSION CONTROL & DETAILS <sup>ale:</sup> 1"=10' rawn: TS/JMJ <sup>21</sup>: 03/11/2021 Job #: 21-0102

**SP-2** 



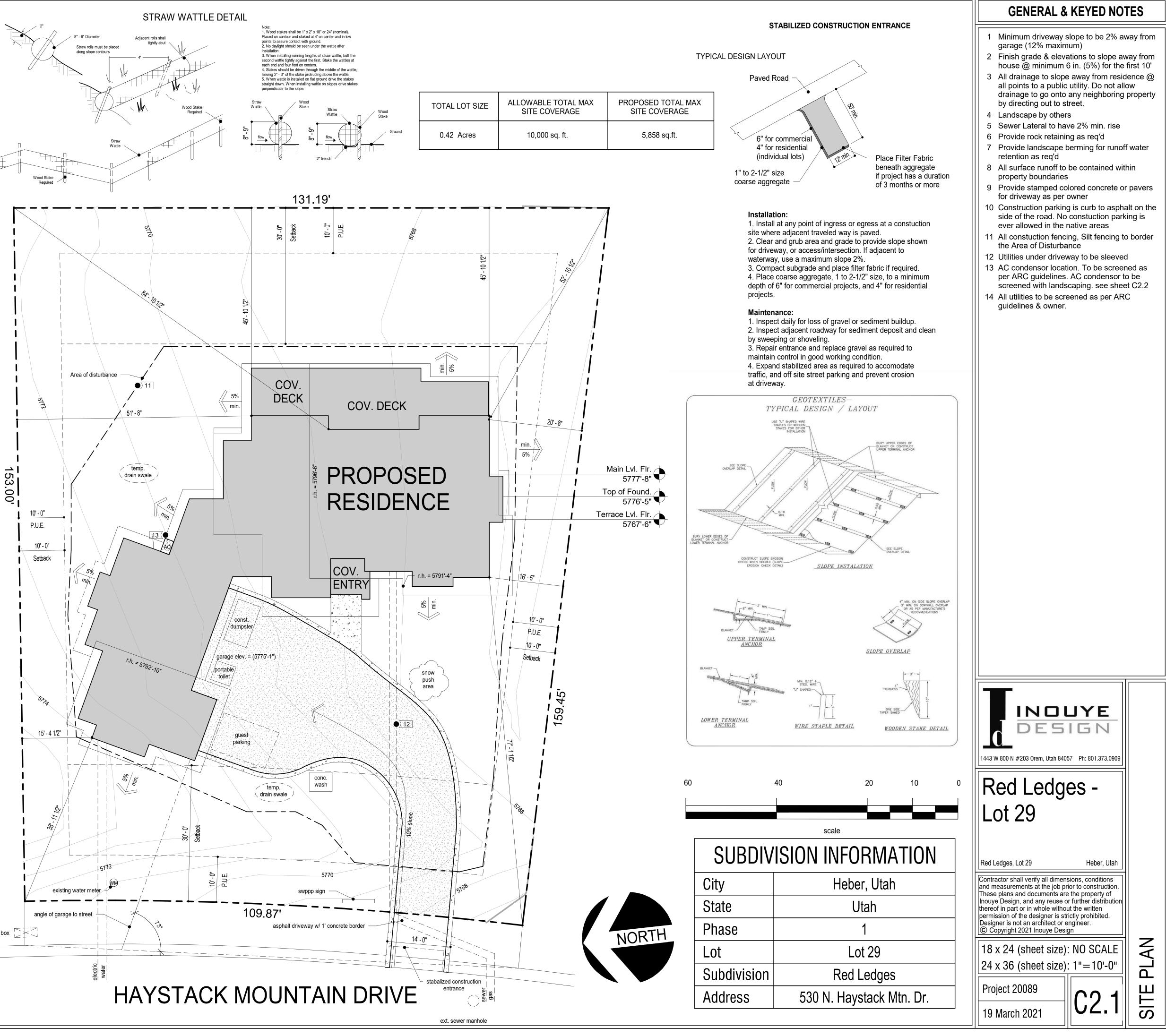


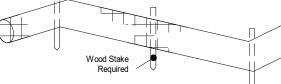


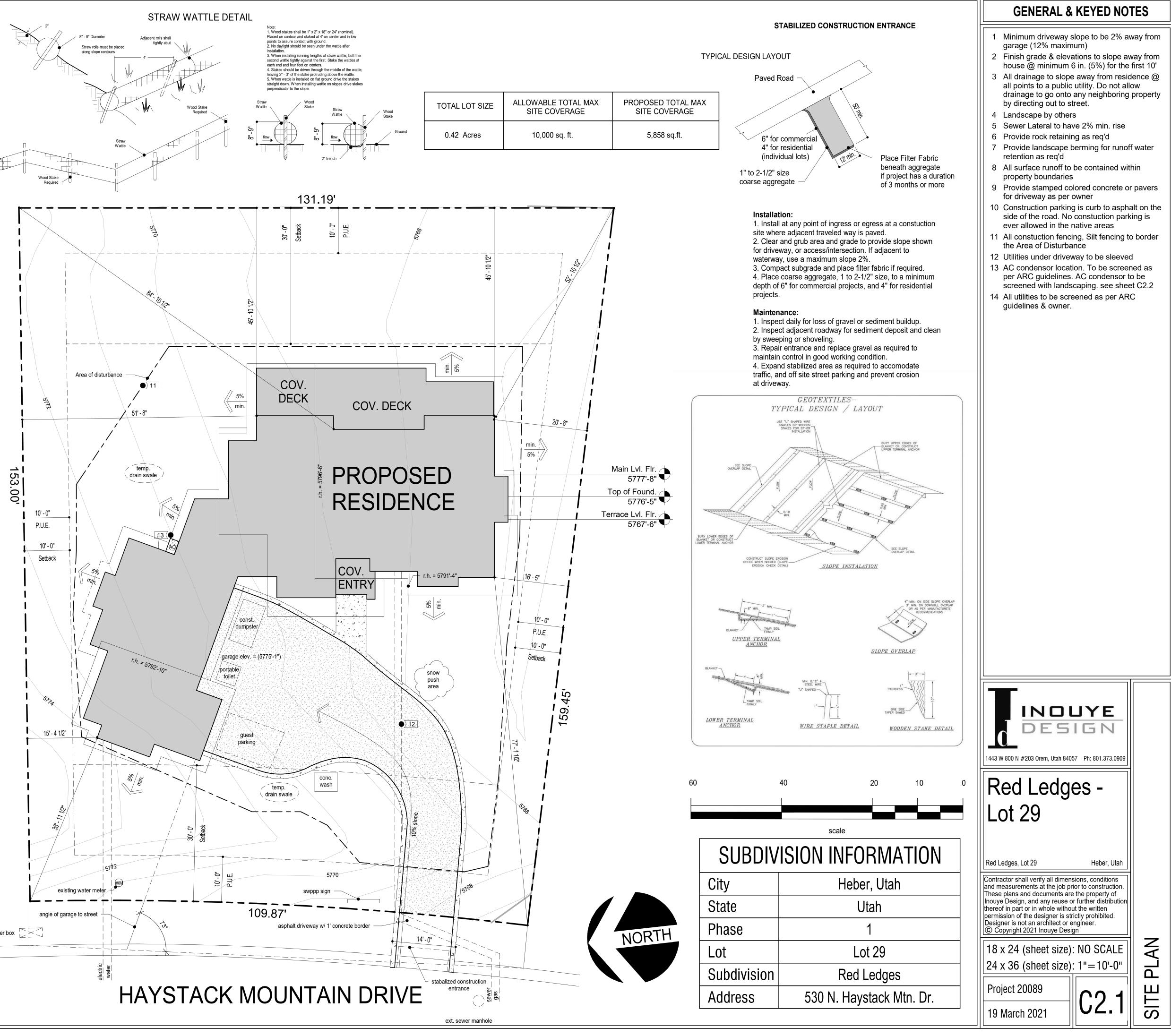
# SUBDIVISION INFORMATION

City	Heber, Utah
State	Utah
Phase	1
Lot	Lot 29
Subdivision	Red Ledges
Address	530 N. Haystack Mtn. Dr.

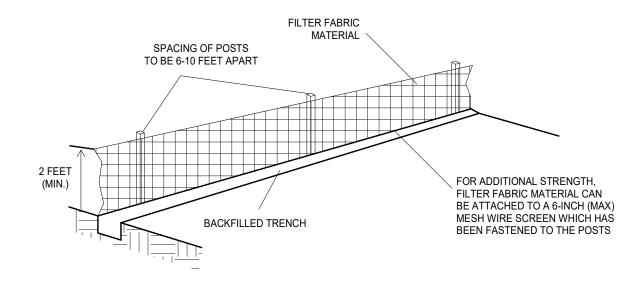
	Required Inspections Tab	
Inspection	Description/Requirements	Contac
Driveway/ Site Staking	Required prior to issuance of a Building Permit. Locate/ stake the driveway at the street and at the road right of way/property line and locate/stake all property corners with a 4 foot steel fence post.	Engineering
Rough Grading	Required prior to scheduling a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.	Engineering
Footing	Schedule after steel is in place and before the concrete is poured.	Building
Foundation	Schedule after steel is in place in the forms and before concrete is placed.	Building
Under Slab Plumbing & Heating	Before concrete is poured or plumbing has been backfilled.	Building
Certificate of Elevation and/or survey	Performed by a licensed surveyor. Required prior to scheduling a Floor Framing Inspection. See requirements below.	Building
Floor Framing Inspection	Required prior to placing floor sheeting and includes Footing Drain inspection.	Building
Shear Wall	After the building is up to "the square" and all shear walls have been nailed and all the tie downs and shear wall connections have been installed.	Building
Fire Sprinklers	Required prior to a four-way inspection, when required by the local Fire District.	Building
Four-Way	This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, shear walls previously inspected, and truss specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.	Building
Weather Barrier/ Stucco Lath	Weather barrier shall be inspected prior to applying veneer. Approved stucco I.C.C. research reports on site.	Building
Gas Meter Set	Required before gas meter clearance is given to Questar.	Building
Masonry wall/ bond team	Steel in masonry and before concrete/ grout is poured.	Building
Insulation	Pre Sheetrock insulation certificate required.	Building
Drywall Nailing	This is done before drywall is taped.	Building
Power to Panel	Building must be up with permanent roof installed.	Building
Driveway pre-surfacing	Site Erosion Control measures must be installed and driveway graded to it's final configuration.	Engineering
Final Driveway and Site Inspection	Required prior to Certificate of Occupancy and/or Bond Release. Driveway must be surfaced and site must be revegetated (inspections may be scheduled separately.) If the site is not revegetated, the erosion concrol measures must be in place and installed correctly.	Engineering
Flood Plain Elevation Certificate	FEMA Elevation Certificate (if applicable) required prior to certificate of Occupancy. Form must be filed with FEMA and a copy provided to Engineering Department.	Engineering
Final	All work is DONE and building complete. Final clearances from the waste water district for sewer, County Health Department for septic, and fire district for sprinkler systems must be on the project for this inspection. Required for Certificate of Occupancy.	Building
Certificate of Occupancy	Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office in Coalville. 1) Snyderville Basin Residental: Final from Building Department, Final from Engineering Department, Final letter from Snyderville Basin Water Reclamation District, Final water concurrency letter from appropriate water company, Final from Park City Fire District (in required subdivision). 2) Eastern Summit County: Final from Building Department, Final from Engineering Department, Final from Fire District and Final from Health Department.	Building
ECP Bod Release	Required to vefify that the site has been fully stabilized (revegetated). Inspection is required prior to applicant receiving a release of their Erosion Control Bond. Applicant must provide a written request for the release of the bond.	Engineering

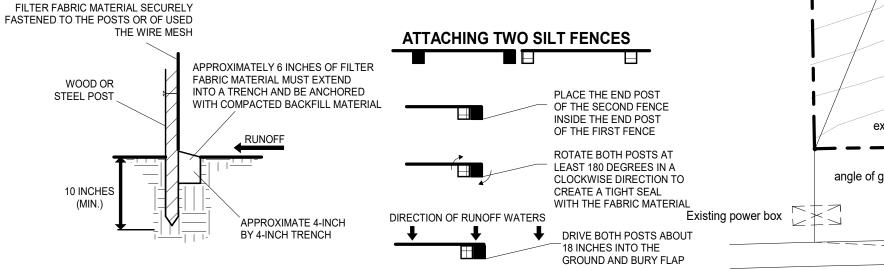


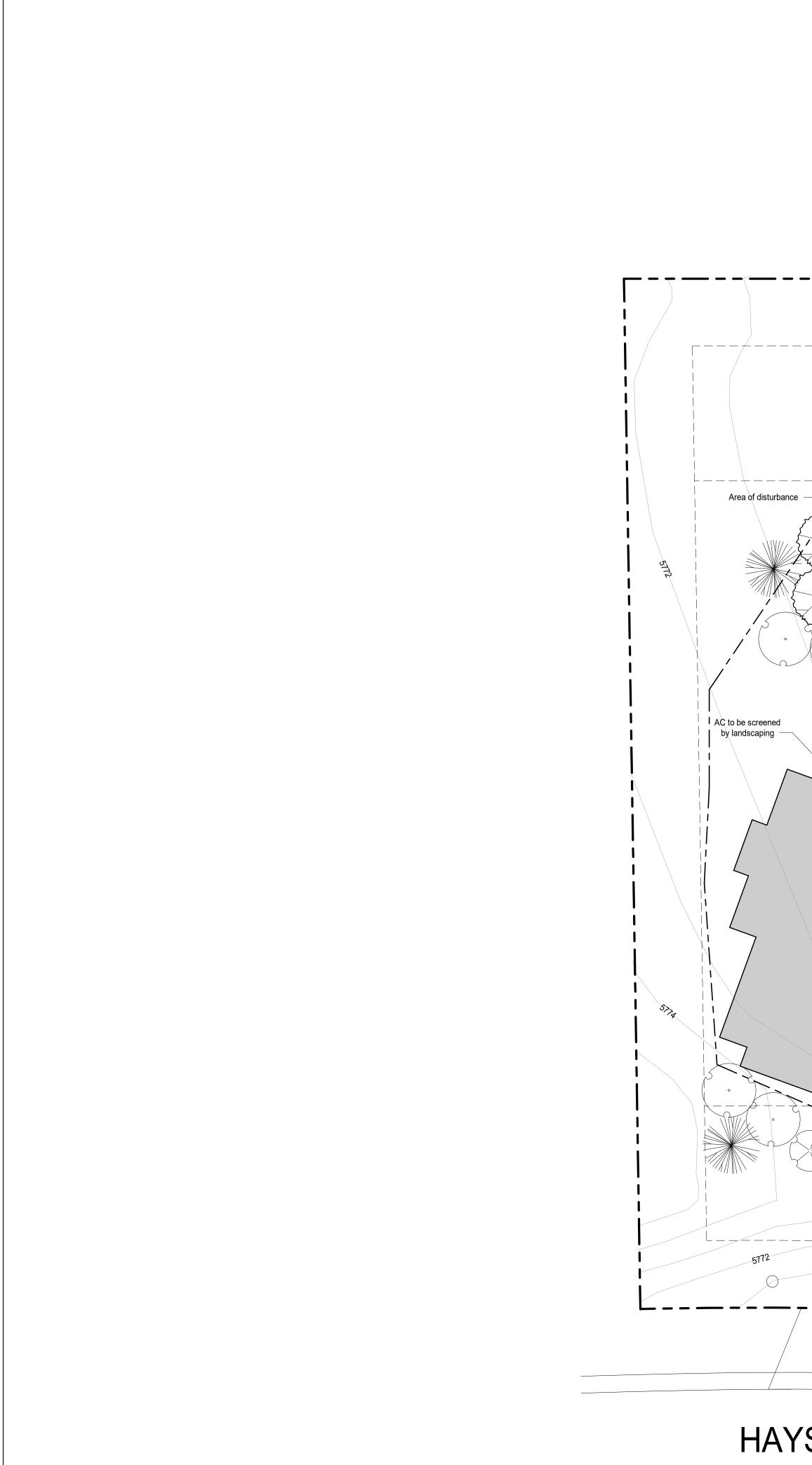




## **INSTALLING A SILT FENCE**







**Deciduous Trees** Min. Size 3" cal.

nnala Maple
ocky Mtn. Maple
gtooth Maple
ountain Mahogany
ambel Oak
ah Serviceberry
okecherry
inleaf Alder

A determination regarding the existing vegetation located within the bounds of the site as shown hereon will be decided once the footprint for the proposed structure according to

COV. DECK

PROPOSED

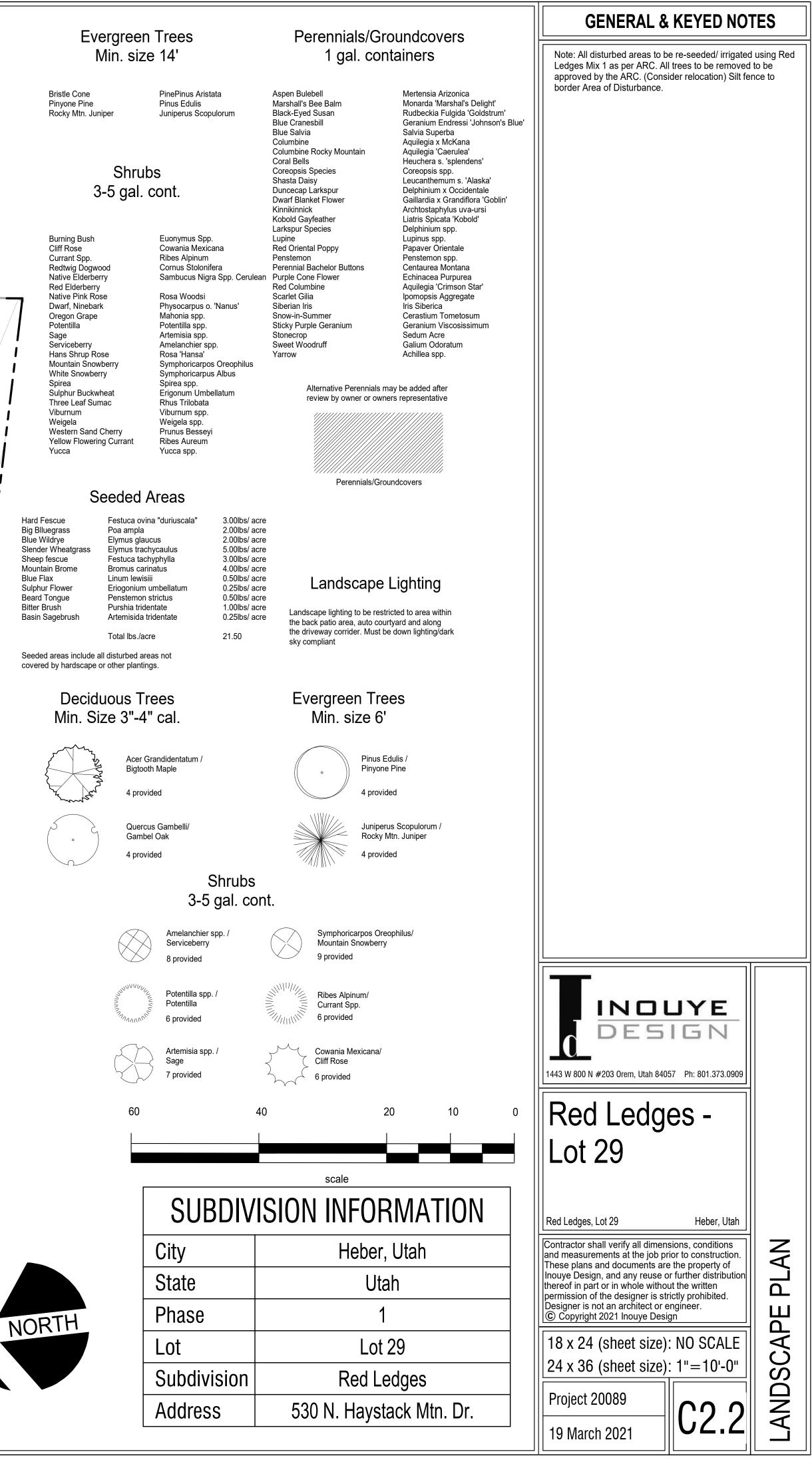
RESIDENCE

COV

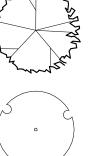
ENTRY

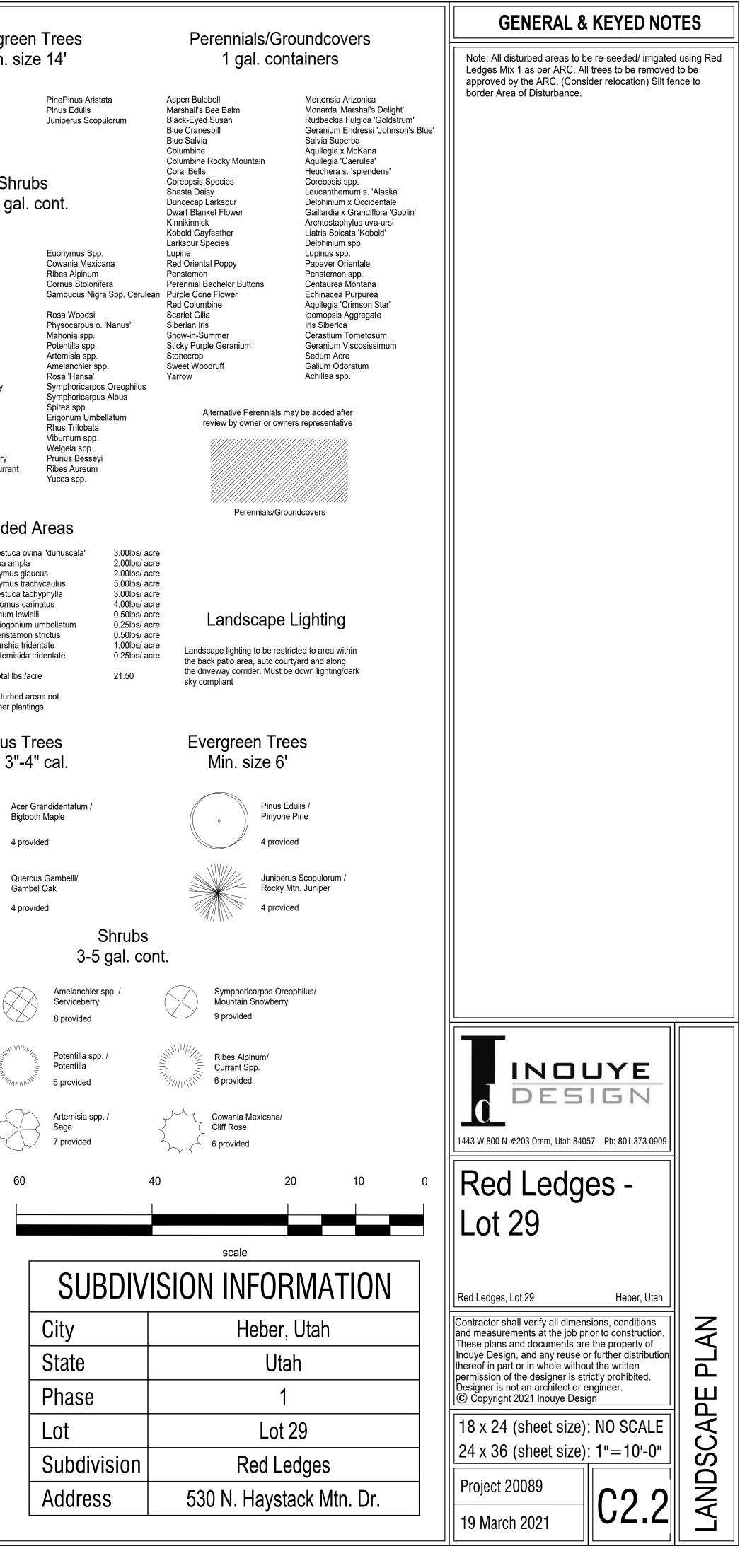
the approved Site Plan has been staked and identified on the ground for review and approval of ARC during the On-Site Pre-Construction meeting. Trees will not be allowed to be removed.

Acer Ginnala Acer Glabrum Acer Grandidentatum Cercocarpus Montanus Quercus Gambelli Amelanchier Utahensis Prunus Virginiana Alnus Tenuifolia



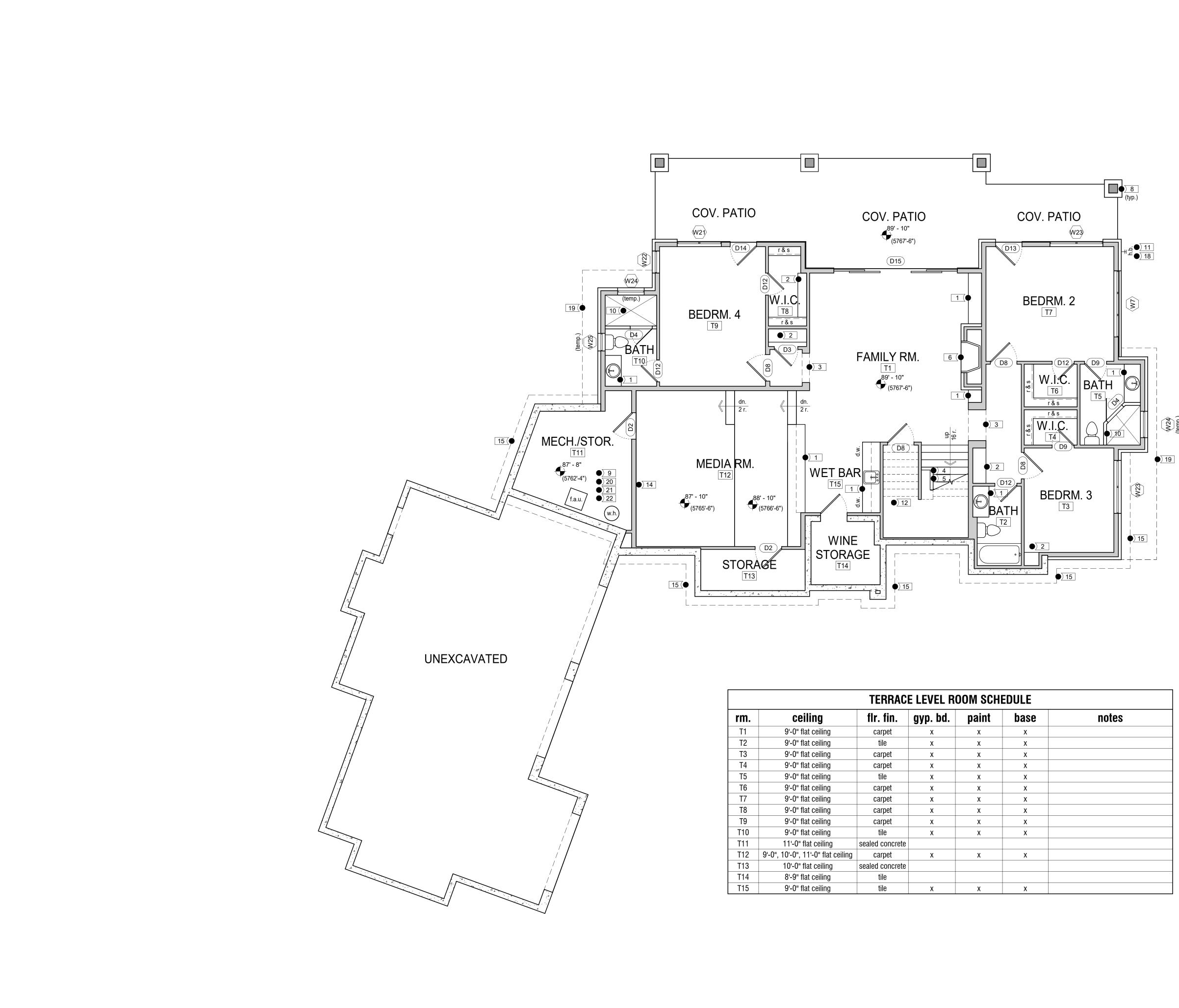
covered by hardscape or other plantings.





# HAYSTACK MOUNTAIN DRIVE

Existing Vegetation Note:



TERRACE LEVEL ROOM SCHEDULE						
rm.	ceiling	flr. fin.	gyp. bd.	paint	base	notes
T1	9'-0" flat ceiling	carpet	х	Х	X	
T2	9'-0" flat ceiling	tile	х	Х	X	
Т3	9'-0" flat ceiling	carpet	х	Х	X	
T4	9'-0" flat ceiling	carpet	х	Х	X	
T5	9'-0" flat ceiling	tile	х	Х	X	
T6	9'-0" flat ceiling	carpet	х	Х	X	
T7	9'-0" flat ceiling	carpet	х	Х	X	
T8	9'-0" flat ceiling	carpet	х	Х	X	
Т9	9'-0" flat ceiling	carpet	х	Х	X	
T10	9'-0" flat ceiling	tile	х	Х	X	
T11	11'-0" flat ceiling	sealed concrete				
T12	9'-0", 10'-0", 11'-0" flat ceiling	carpet	х	Х	X	
T13	10'-0" flat ceiling	sealed concrete				
T14	8'-9" flat ceiling	tile				
T15	9'-0" flat ceiling	tile	Х	Х	X	

see sheet C1.3 for complete schedules

TERRACE DOOR SCHEDULE				
DOOR	WIDTH	HEIGHT		
D2	3' - 0"	8' - 0"		
D3	2' - 8"	8' - 0"		
D4	2' - 6"	8' - 0"		
D8	3' - 0"	8' - 0"		
D9	2' - 6"	8' - 0"		
D12	2' - 6"	8' - 0"		
D13	3' - 0"	8' - 0"		
D14	3' - 0"	8' - 0"		
D15	14' - 0"	8' - 0"		

#### see sheet C1.3 for complete schedules

#### TERRACE WINDOW SCHEDULE

WIN.	WIDTH	HEIGHT	HEAD HT.
W7	7' - 6"	2' - 0"	8' - 0"
W21	5' - 0"	5' - 0"	8' - 0"
W22	2' - 6"	5' - 0"	8' - 0"
W23	6' - 0"	5' - 0"	8' - 0"
W24	3' - 0"	1' - 6"	8' - 0"
W25	2' - 0"	3' - 0"	8' - 0"

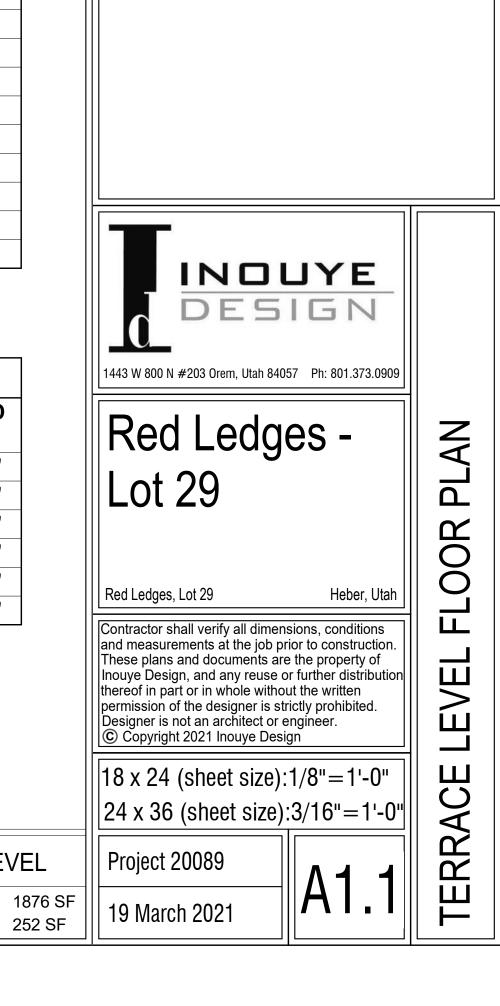
TERRACE LEVEL

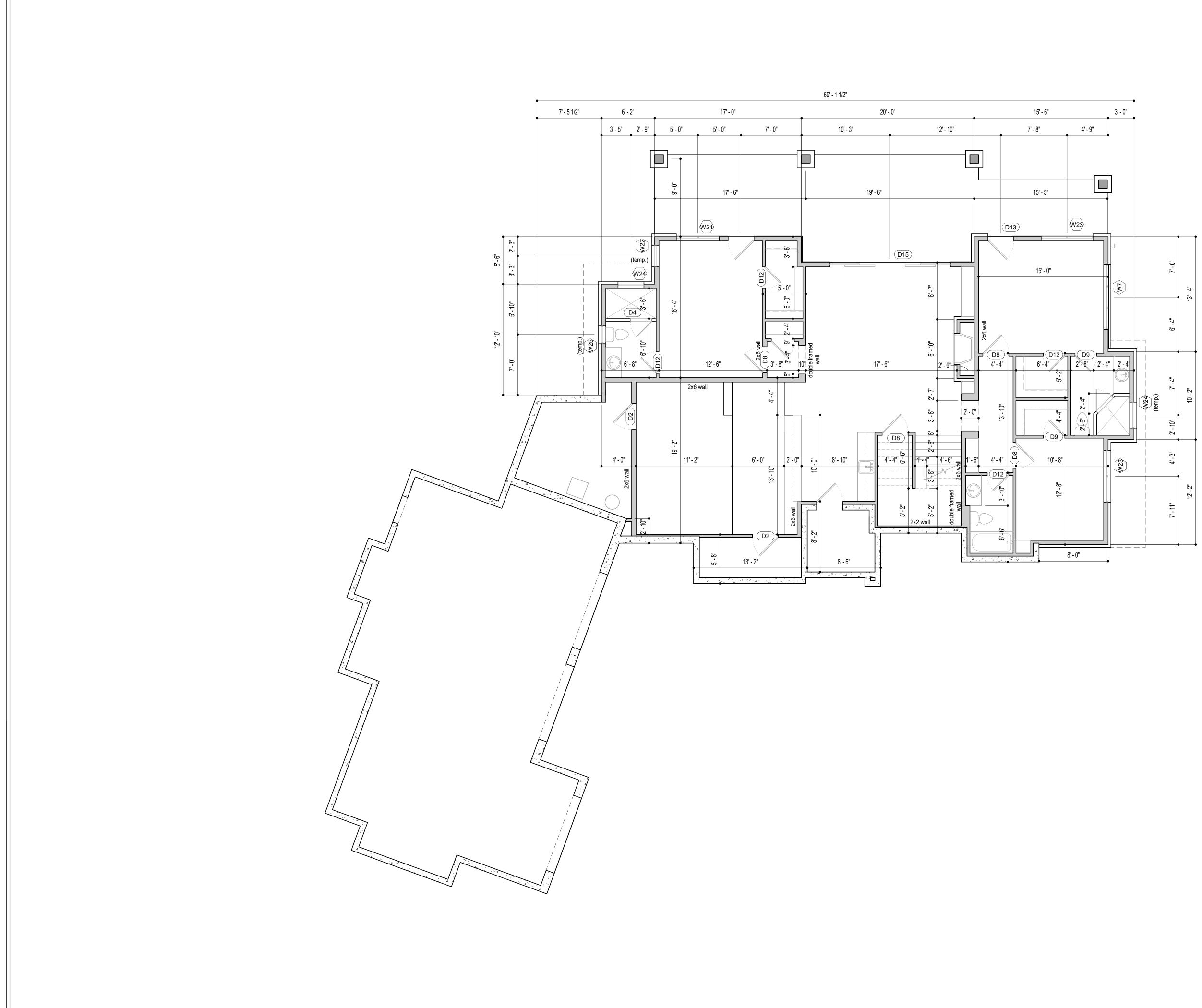
Living Space

Storage

#### • # GENERAL & KEYED NOTES

- 1 Built-in cabinetry as per owner
- 2 Built-in shelving as per owner
- 3 Square cased opening w/ top @ 8'-0"
- 4 Provide handrail from nosing of top stair to nosing of bottom stair as per IRC
- 5 Provide 36" (min.) guardrail as per IRC & owner
- 6 Provide 36" or 42" direct vent gas fireplace as per owner
- 7 Provide tile pan & floor drain for washer & dryer
- 8 12" x 12" stone column w/ finish as per owner
- 9 Provide flue as req'd
- 10 Provide tempered glass for shower door and enclosure as req'd
- 11 Non-freeze type hose bib w/ backflow preventers installed
- 12 Provide 5/8" type 'x' gyp. bd. under stairs as per IRC
- 13 Provide safety glazing as per IRC 308.4
- 14 Drop down projector screen as per owner
- 15 Provide perimeter drain as req'd
- 16 All interior walls to be insulated as per owner
- 17 Stone over concrete as per owner & IRC
- 18 Provide hose bib at front & rear of the
- dwelling as req'd
- 19 Line of roof above
- 20 Provide exterior combustion air as per IRC
- 21 Provide 2" step down into mech. rm.
- 22 Provide approved seismic strap for water heaters as per IRC





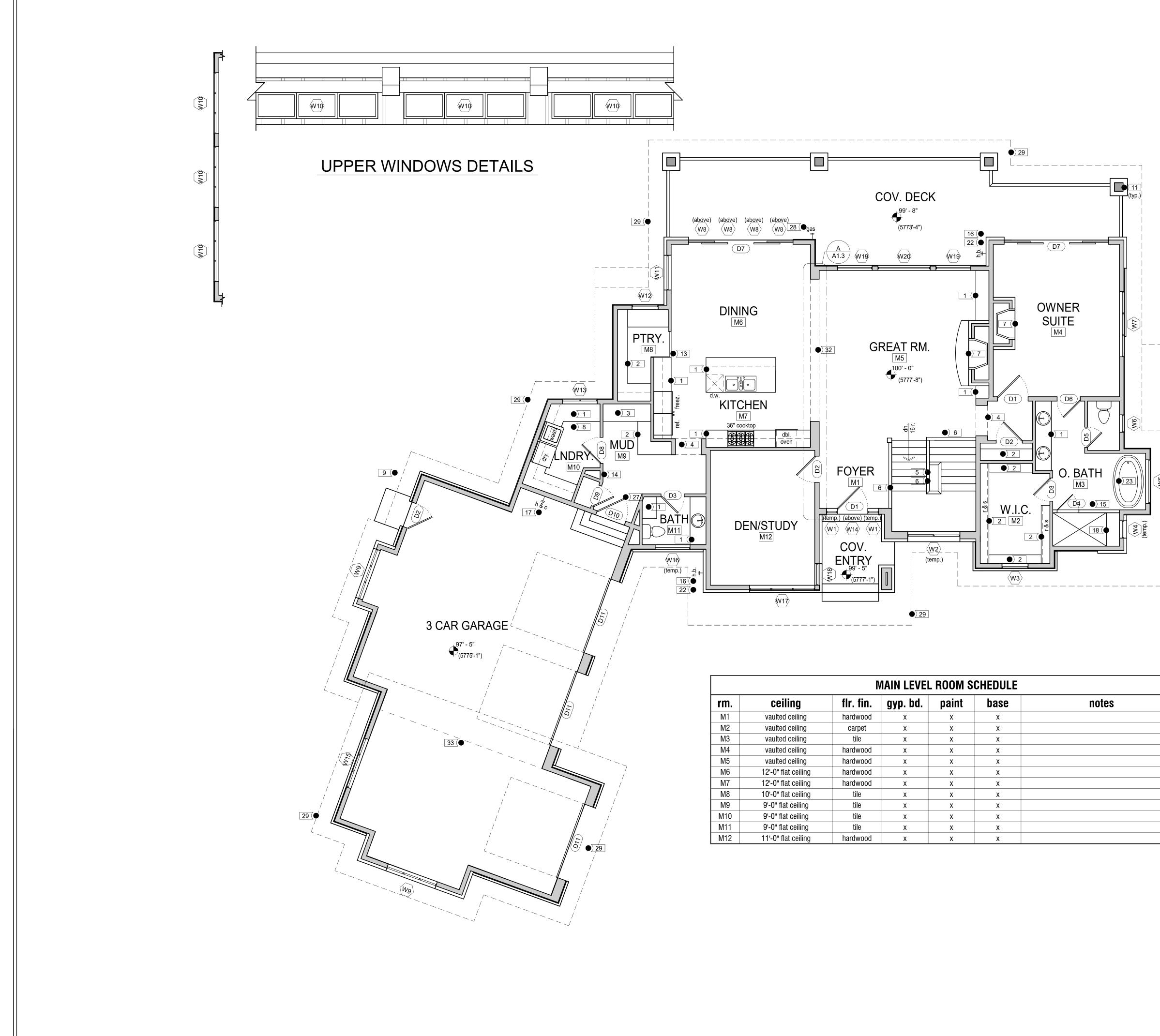
see sheet C1.3 for complete schedules

TERRACE DOOR SCHEDULE			
DOOR	WIDTH	HEIGHT	
D2	3' - 0"	8' - 0"	
D3	2' - 8"	8' - 0"	
D4	2' - 6"	8' - 0"	
D8	3' - 0"	8' - 0"	
D9	2' - 6"	8' - 0"	
D12	2' - 6"	8' - 0"	
D13	3' - 0"	8' - 0"	
D14	3' - 0"	8' - 0"	
D15	14' - 0"	8' - 0"	

#### see sheet C1.3 for complete schedules

TERRACE WINDOW SCHEDULE				
WIN.	WIDTH	HEIGHT	HEAD HT.	
W7	7' - 6"	2' - 0"	8' - 0"	
W21	5' - 0"	5' - 0"	8' - 0"	
W22	2' - 6"	5' - 0"	8' - 0"	
W23	6' - 0"	5' - 0"	8' - 0"	
W24	3' - 0"	1' - 6"	8' - 0"	
W25	2' - 0"	3' - 0"	8' - 0"	

	<b>THE SIGN</b> 1443 W 800 N #203 Orem, Utah 84057 Ph: 801.373.0909	PLAN
	Red Ledges - Lot 29	DIMENSION PL
	Red Ledges, Lot 29Heber, UtahContractor shall verify all dimensions, conditions and measurements at the job prior to construction. These plans and documents are the property of Inouye Design, and any reuse or further distribution thereof in part or in whole without the written permission of the designer is strictly prohibited. Designer is not an architect or engineer. 	LEVEL DIN
•	18 x 24 (sheet size): $1/8"=1'-0"$ 24 x 36 (sheet size): $3/16"=1'-0"$	ACE
	Project 20089 <b>A1 2</b>	ERRAC
	19 March 2021     🕂 🛛 🗸	



	MAIN LEVEL ROOM SCHEDULE					
rm.	ceiling	flr. fin.	gyp. bd.	paint	base	notes
M1	vaulted ceiling	hardwood	X	Х	Х	
M2	vaulted ceiling	carpet	X	Х	Х	
M3	vaulted ceiling	tile	X	Х	Х	
M4	vaulted ceiling	hardwood	X	Х	Х	
M5	vaulted ceiling	hardwood	X	Х	Х	
M6	12'-0" flat ceiling	hardwood	X	Х	X	
M7	12'-0" flat ceiling	hardwood	X	Х	Х	
M8	10'-0" flat ceiling	tile	X	Х	Х	
M9	9'-0" flat ceiling	tile	X	Х	Х	
M10	9'-0" flat ceiling	tile	X	Х	Х	
M11	9'-0" flat ceiling	tile	X	Х	Х	
M12	11'-0" flat ceiling	hardwood	X	Х	Х	

#### see sheet C1.3 for complete schedules

MAIN LEVEL DOOR SCHEDULE				
DOOR	WIDTH	HEIGHT		
D1	3' - 6"	8' - 0"		
D2	3' - 0"	8' - 0"		
D3	2' - 8"	8' - 0"		
D4	2' - 6"	8' - 0"		
D5	2' - 4"	8' - 0"		
D6	2' - 8"	8' - 0"		
D7	12' - 0"	8' - 0"		
D8	3' - 0"	8' - 0"		
D9	2' - 6"	8' - 0"		
D10	3' - 6"	8' - 0"		
D11	9' - 0"	9' - 0"		

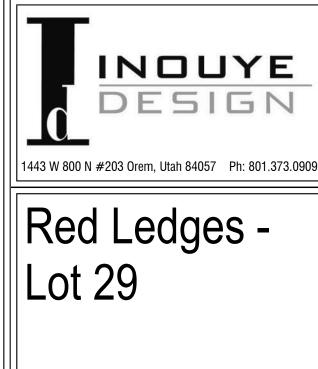
#### see sheet C1.3 for complete schedules

MAIN LEVEL WINDOW SCHEDULE				
WIN.	WIDTH	HEIGHT	HEAD HT.	
W1	1' - 3"	8' - 0"	8' - 0"	
W2	6' - 0"	8' - 0"	10' - 0"	
W3	3' - 0"	5' - 0"	8' - 0"	
W4	2' - 0"	1' - 6"	8' - 0"	
W5	5' - 0"	5' - 0"	8' - 0"	
W6	2' - 0"	3' - 0"	8' - 0"	
W7	7' - 6"	2' - 0"	8' - 0"	
W8	3' - 0"	2' - 0"	10' - 0"	
W9	6' - 0"	5' - 0"	8' - 0"	
W10	7' - 0"	1' - 6"	4' - 8"	
W11	4' - 0"	8' - 0"	10' - 0"	
W12	3' - 0"	4' - 6"	8' - 0"	
W13	4' - 0"	4' - 6"	8' - 0"	
W14	6' - 0"	2' - 0"	10' - 0"	
W15	6' - 0"	3' - 0"	8' - 0"	
W16	4' - 0"	2' - 0"	8' - 0"	
W17	7' - 6"	8' - 0"	10' - 0"	
W18	2' - 6"	8' - 0"	10' - 0"	
W19	4' - 0"	8' - 6"	10' - 6"	
W20	6' - 0"	8' - 6"	10' - 6"	

•) 29

#### • **GENERAL & KEYED NOTES**

- 1 Built-in cabinetry as per owner
- 2 Built-in shelving as per owner
- 3 Built-in locker system as per owner
- 4 Square cased opening w/ top @ 8'-0"
- 5 Provide handrail from nosing of top stair to nosing of bottom stair as per IRC
- 6 Provide 36" (min.) guardrail as per IRC & owner
- 7 Provide 36" or 42" direct vent gas fireplace as per owner
- 8 Provide tile pan & floor drain for washer & dryer
- 9 36" x 36" (min.) landing outside all exterior doors
- 10 Provide pot filler as per owner
- 11 12" x 12" timber column w/ stone base as per owner
- 12 Provide (2) layers 1/2" type 'x' gyp. bd. @ clg. & (1) layer 5/8" type 'x' gyp. bd. @ house walls 13 Provide secret passage built into cabinetry as
- per owner
- 14 Provide flue as req'd
- 15 Provide tempered glass for shower door and enclosure as req'd
- 16 Non-freeze type hose bib w/ backflow preventers installed
- 17 Provide hot & cold mixing valve
- 18 Provide tiled bench in shower as per owner
- 19 Provide safety glazing as per IRC 308.4
- 20 All interior walls to be insulated as per owner
- 21 Stone over concrete as per owner & IRC
- 22 Provide hose bib at front & rear of the dwelling as req'd
- 23 Freestanding tub as per owner 24 Slope concrete slab 4" to doors
- 25 All penetrations (plumbing, water, vacuum, etc.) through garage fire wall to be w/ metal
- piping 26 Provide gas meter as per code
- 27 This door to be metal, 20 min. fire-rated w/ self-closing hinge as per IRC
- 28 Provide gas line for outdoor BBQ as per IRC & owner
- 29 Line of roof overhang
- 30 Provide power meter as per code
- 31 Provide a/c units and pads as per code
- 32 Square cased opening w/ top @ 10'-0"
- 33 Line of ceiling transition above



Red Ledges, Lot 29

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PLAN

**N** 

Ο

LEVEL

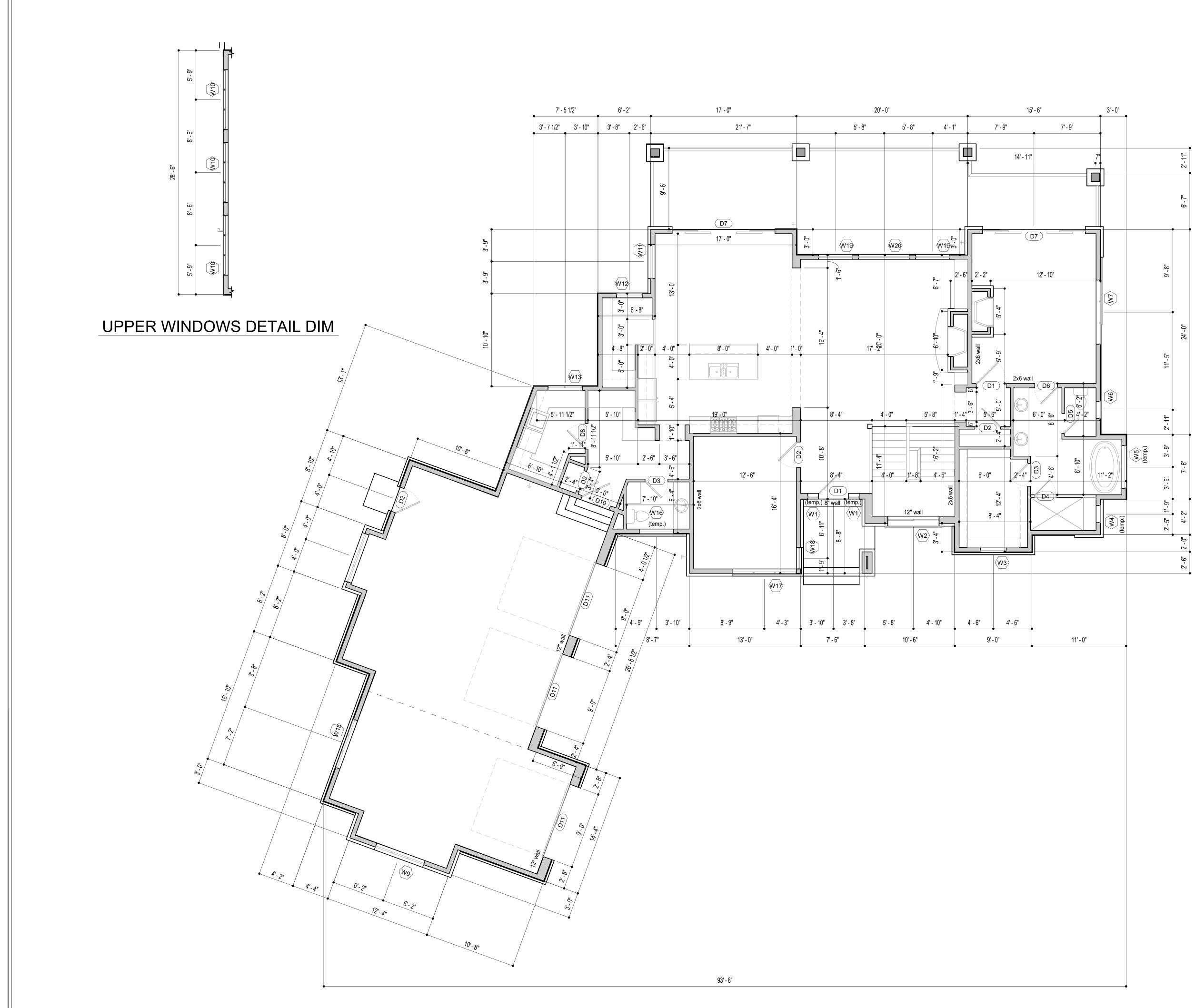
MAIN

Heber, Utah

18 x 24 (sheet size):1/8"=1'-0" 24 x 36 (sheet size):3/16"=1'-0" Project 20089 A1.3

19 March 2021

MAIN LEVEL 1136 SF Garage Space 2142 SF Living Space



see sheet C1.3 for complete schedules						
MAIN	MAIN LEVEL DOOR SCHEDULE					
DOOR	WIDTH	HEIGHT				
D1	3' - 6"	8' - 0"				
D2	3' - 0"	8' - 0"				
D3	2' - 8"	8' - 0"				
D4	2' - 6"	8' - 0"				
D5	2' - 4"	8' - 0"				
D6	2' - 8"	8' - 0"				
D7	12' - 0"	8' - 0"				
D8	3' - 0"	8' - 0"				
D9	2' - 6"	8' - 0"				

3' - 6"

9' - 0"

8' - 0"

9' - 0"

D10

D11

#### see sheet C1.3 for complete schedules

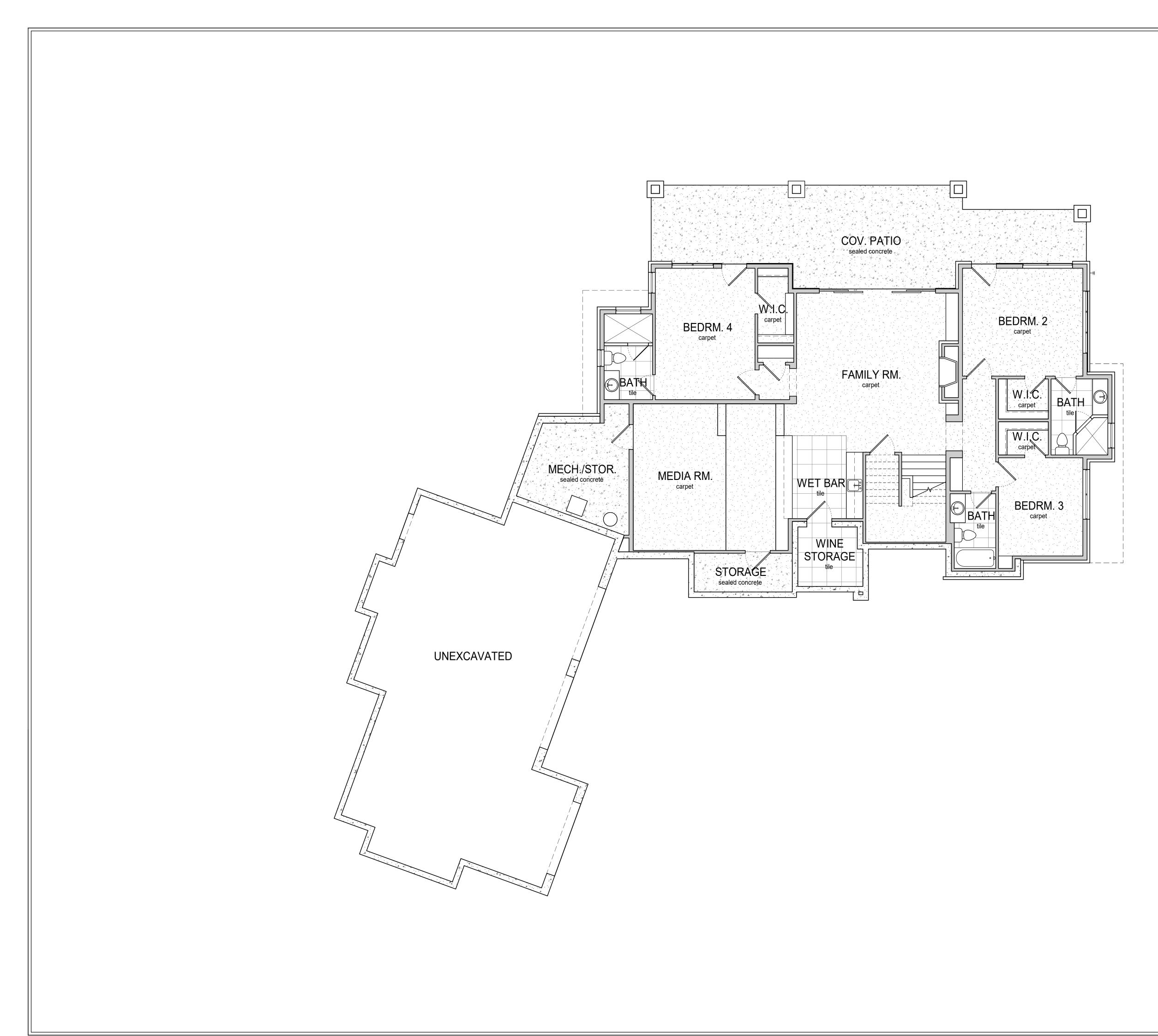
MAIN LEVEL WINDOW SCHEDULE			
WIN.	WIDTH	HEIGHT	HEAD HT.
W1	1' - 3"	8' - 0"	8' - 0'
W2	6' - 0"	8' - 0"	10' - 0
W3	3' - 0"	5' - 0"	8' - 0'
W4	2' - 0"	1' - 6"	8' - 0'
W5	5' - 0"	5' - 0"	8' - 0'
W6	2' - 0"	3' - 0"	8' - 0'
W7	7' - 6"	2' - 0"	8' - 0'
W8	3' - 0"	2' - 0"	10' - 0
W9	6' - 0"	5' - 0"	8' - 0'
W10	7' - 0"	1' - 6"	4' - 8'
W11	4' - 0"	8' - 0"	10' - 0
W12	3' - 0"	4' - 6"	8' - 0'
W13	4' - 0"	4' - 6"	8' - 0'
W14	6' - 0"	2' - 0"	10' - 0
W15	6' - 0"	3' - 0"	8' - 0'
W16	4' - 0"	2' - 0"	8' - 0'
W17	7' - 6"	8' - 0"	10' - 0
W18	2' - 6"	8' - 0"	10' - 0
W19	4' - 0"	8' - 6"	10' - 6
W20	6' - 0"	8' - 6"	10' - 6



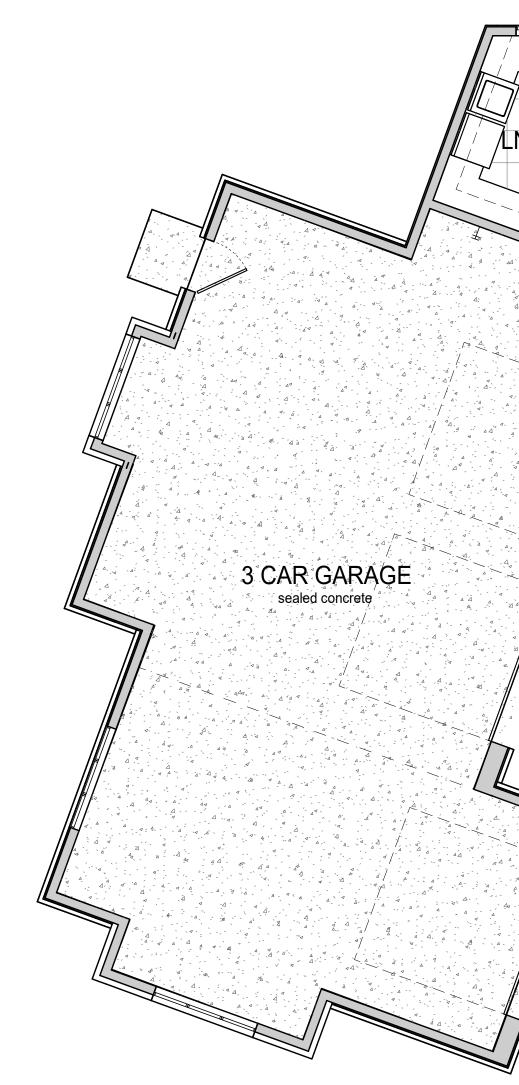
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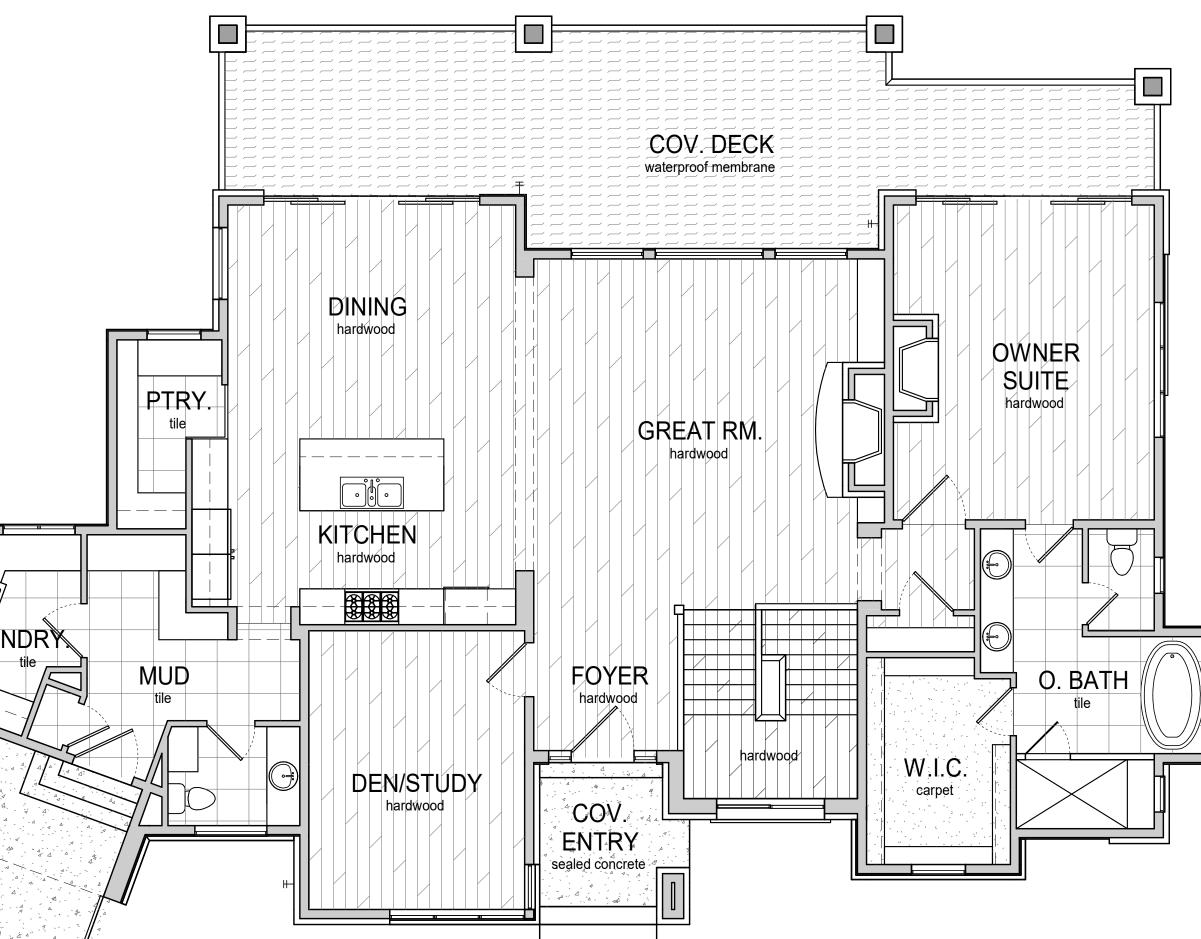
18 x 24 (sheet size):1/8"=1'-0" 24 x 36 (sheet size):3/16"=1'-0" Project 20089 A1.4 **MAIN LEVEL** 

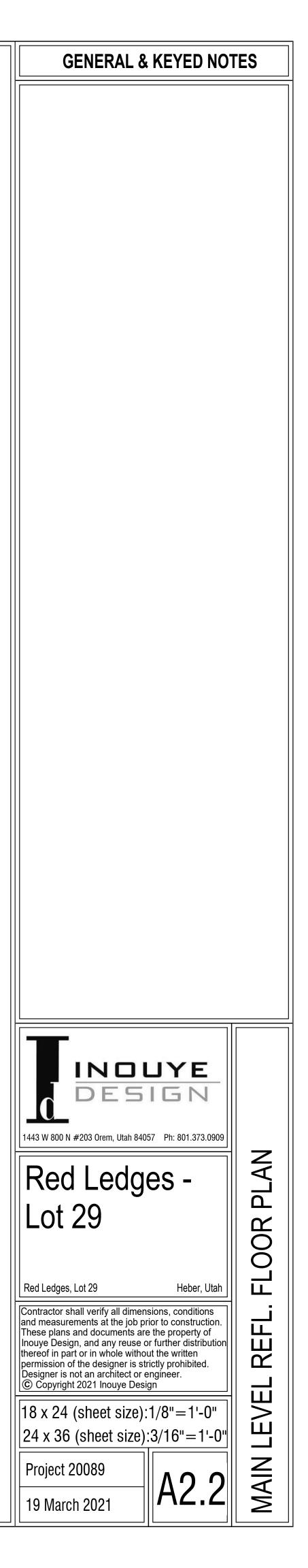
19 March 2021

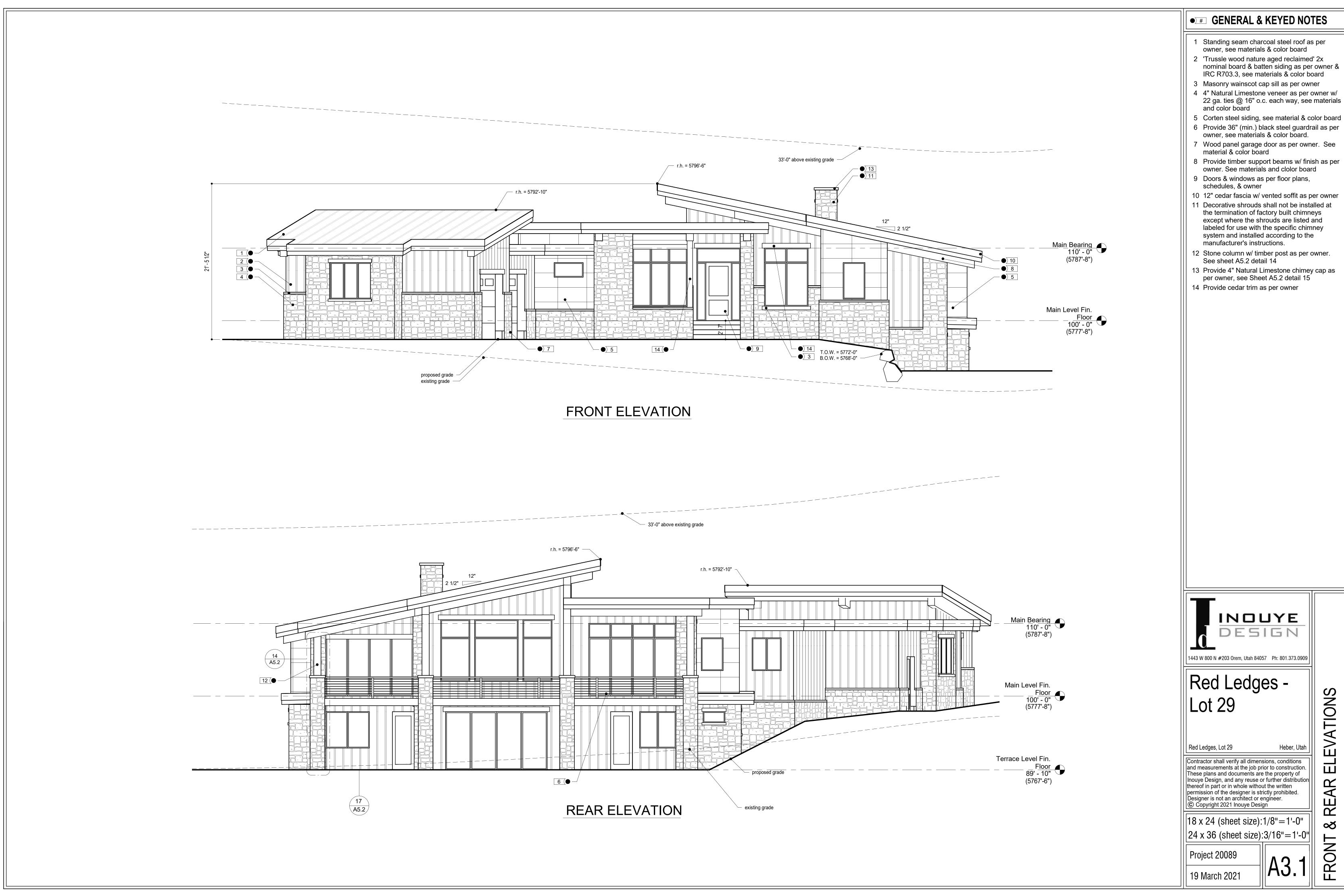


GENERAL & KEYED NOT	ES
Implication         Implication	RRACE LEVEL REFL. FLOOR PLAN
Project 20089 19 March 2021	TERR

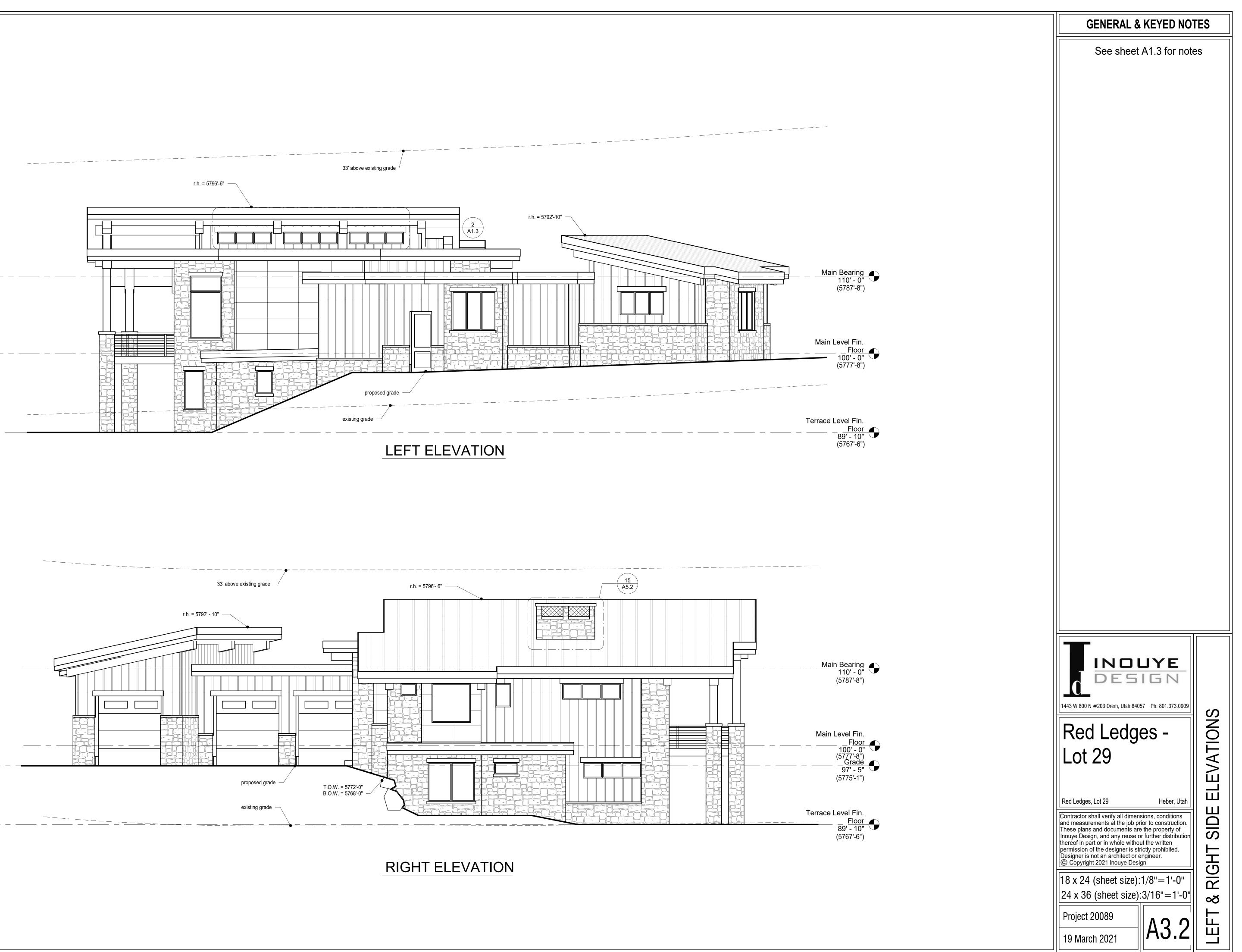


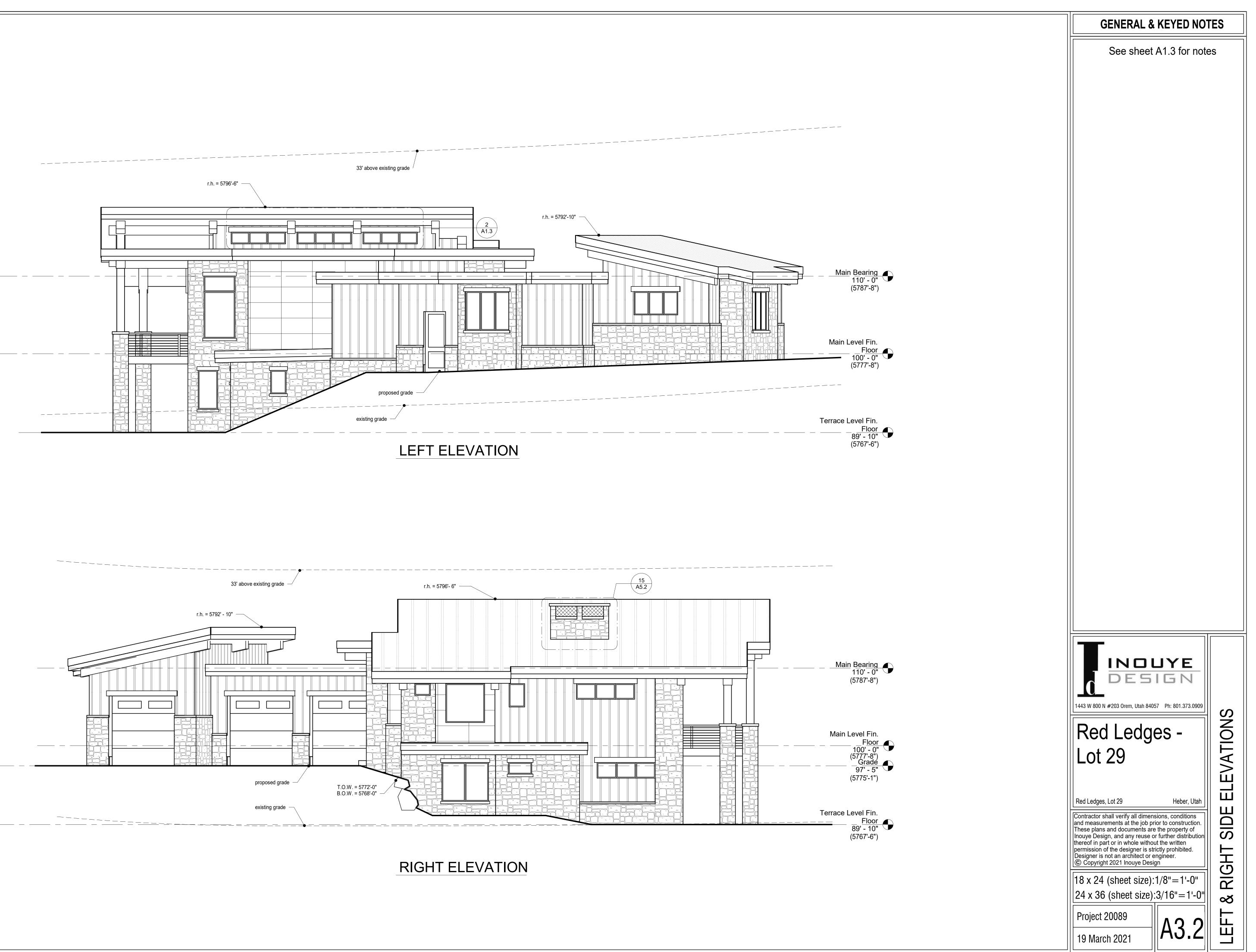




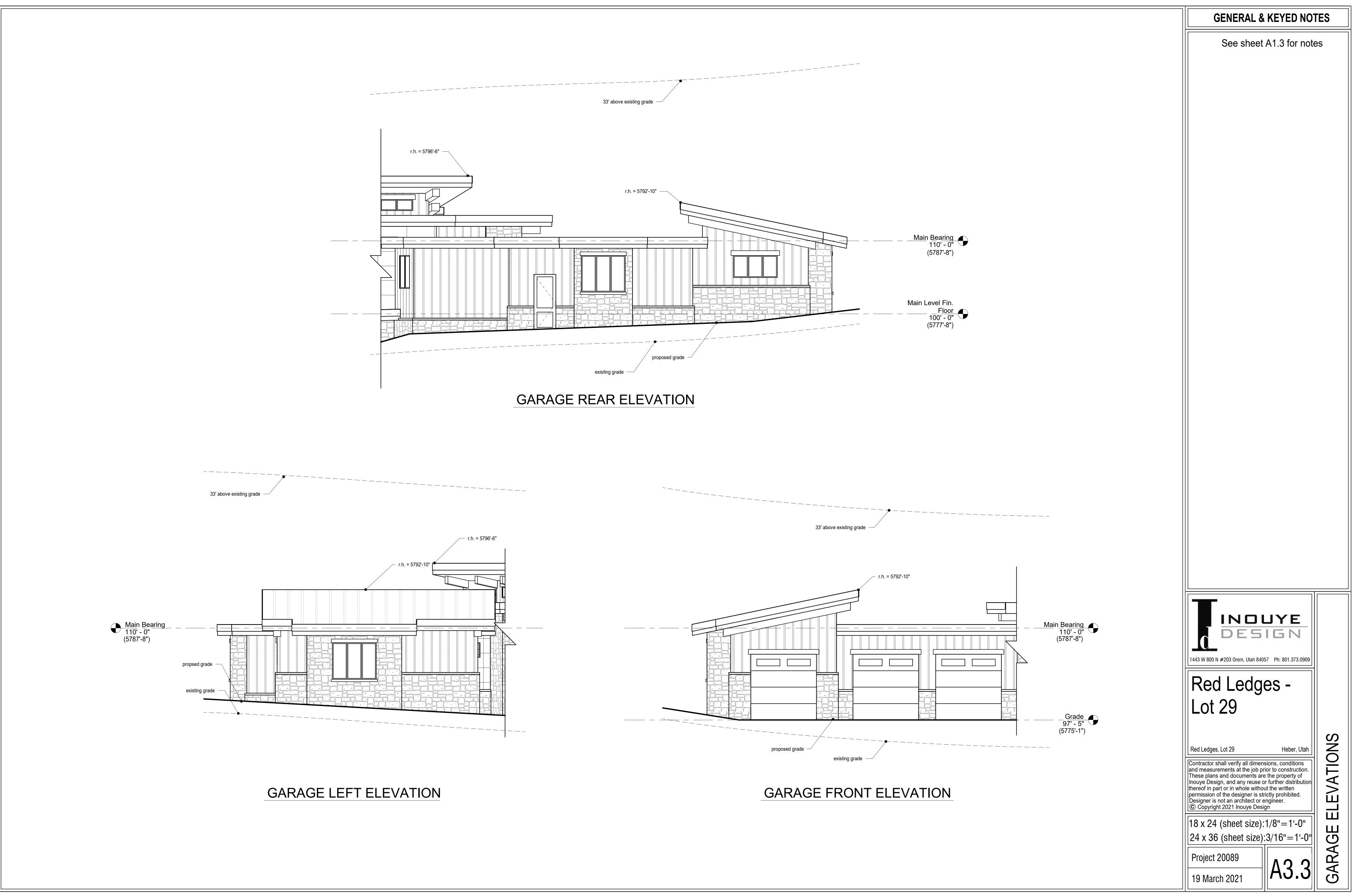


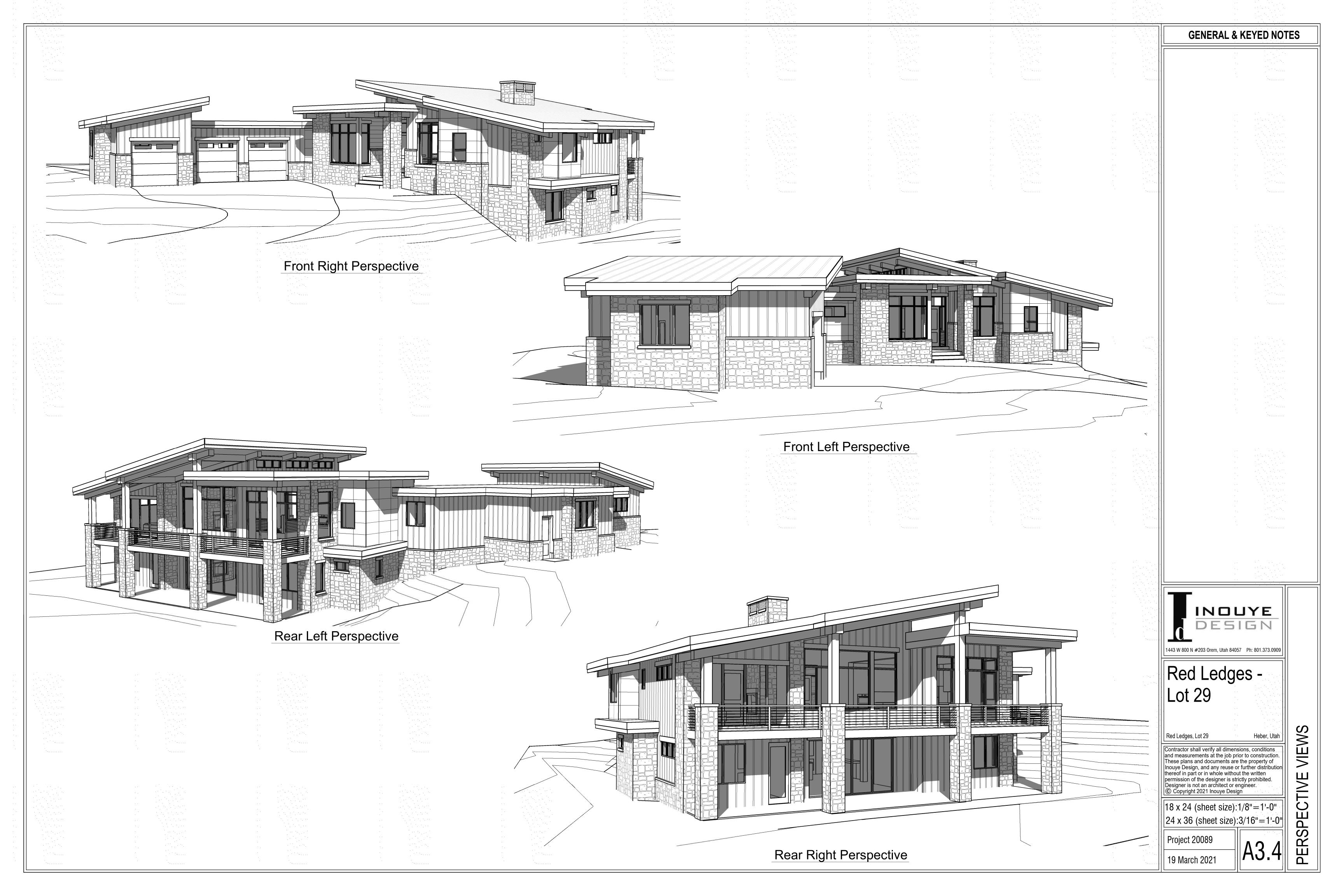
- 22 ga. ties @ 16" o.c. each way, see materials

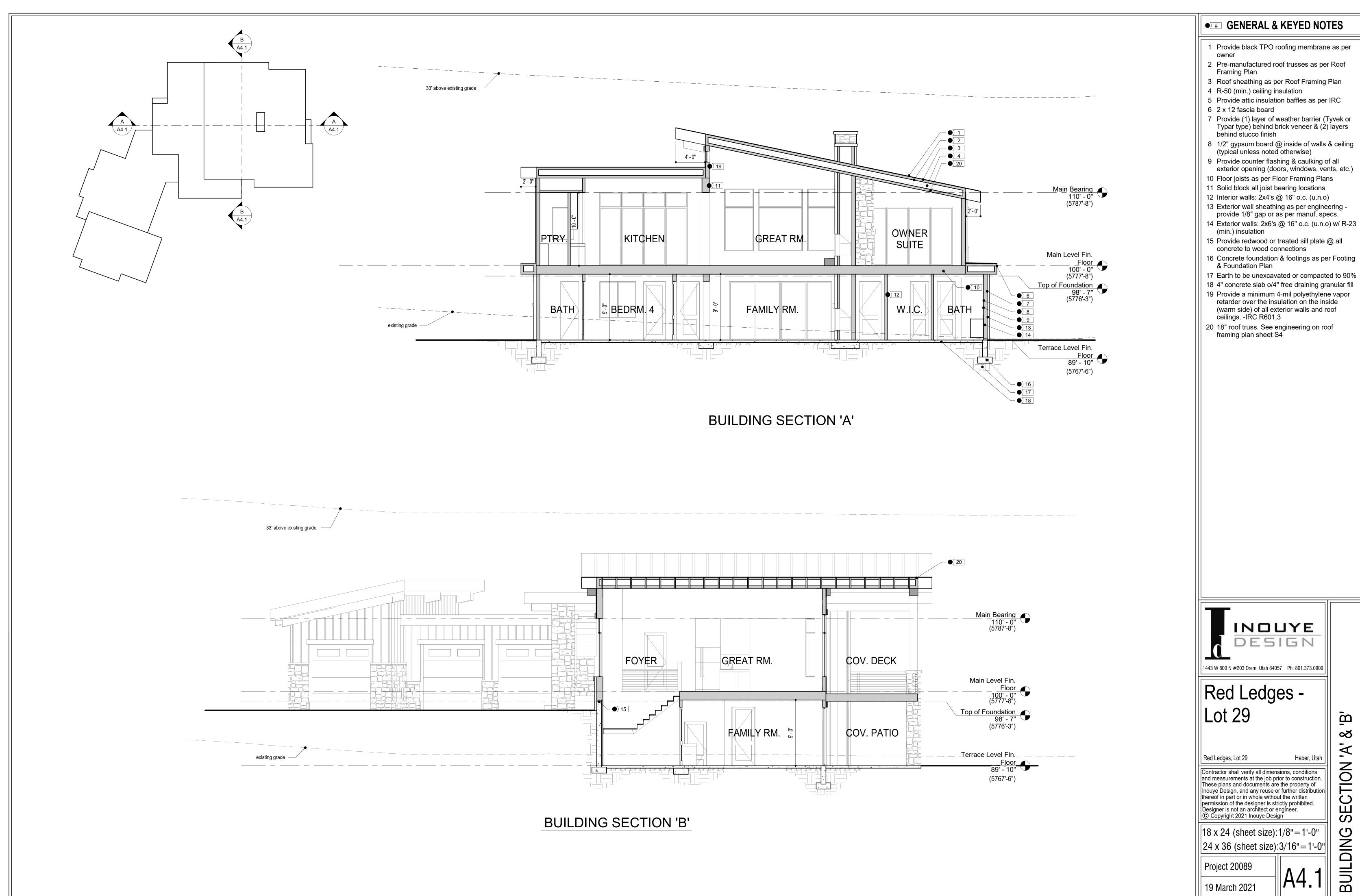






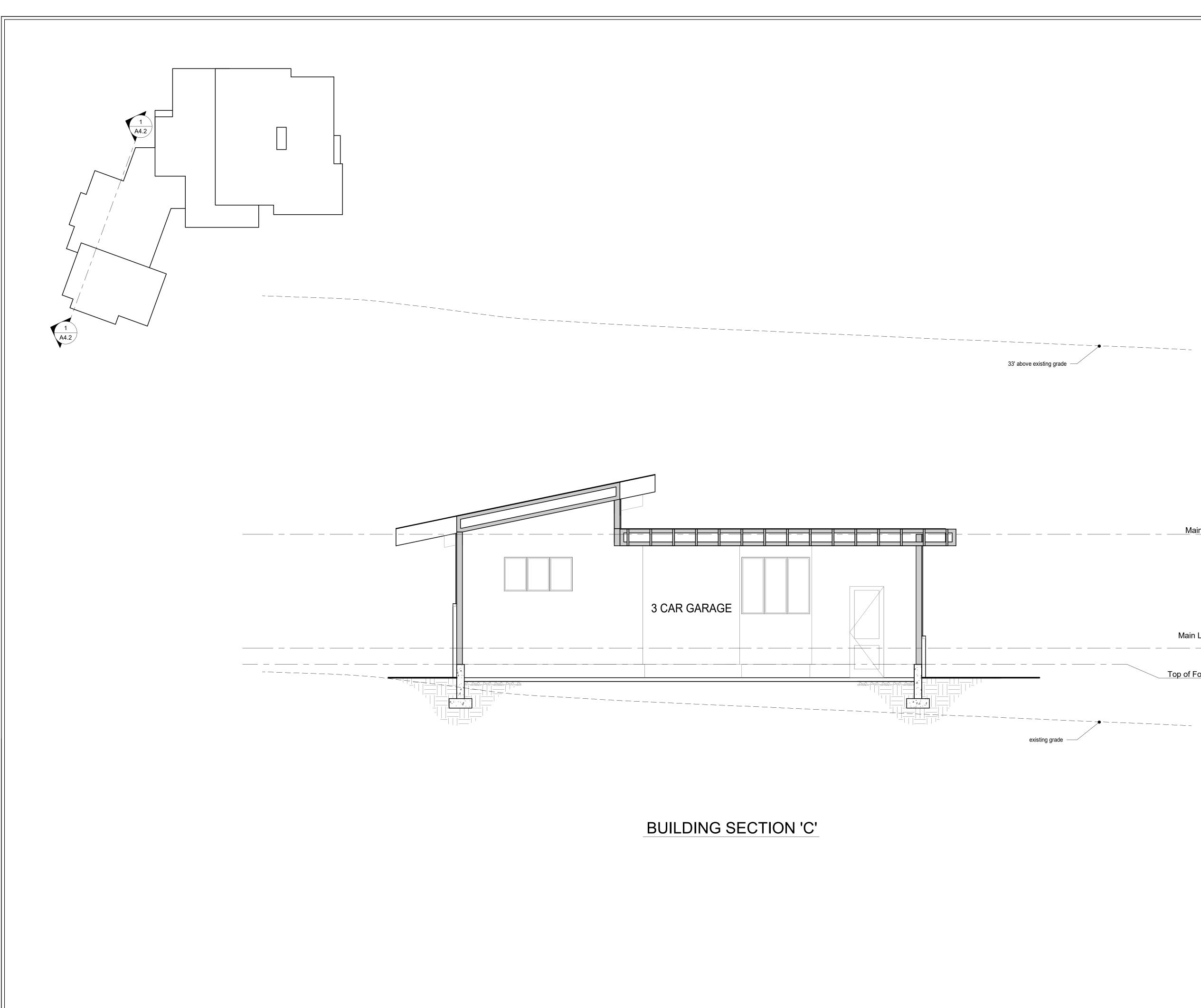


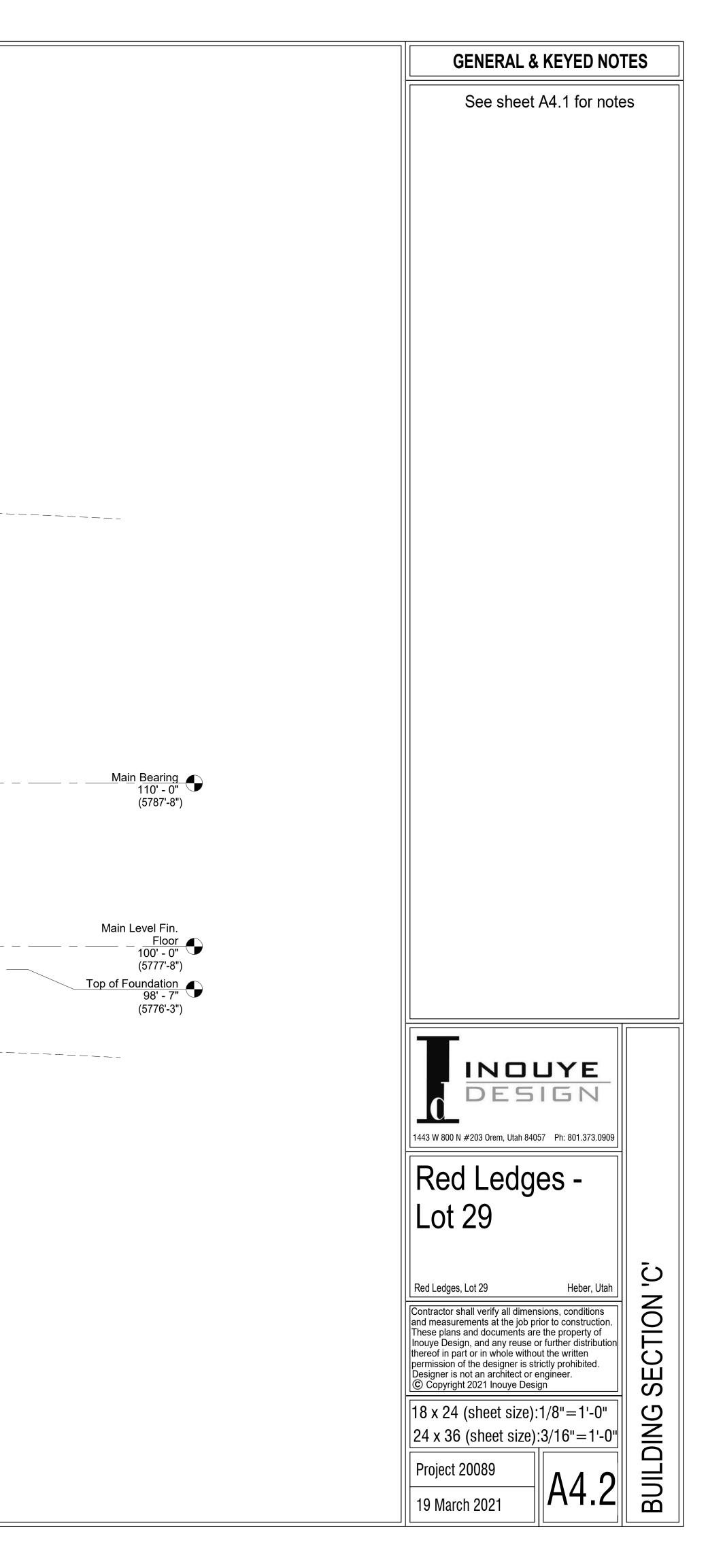


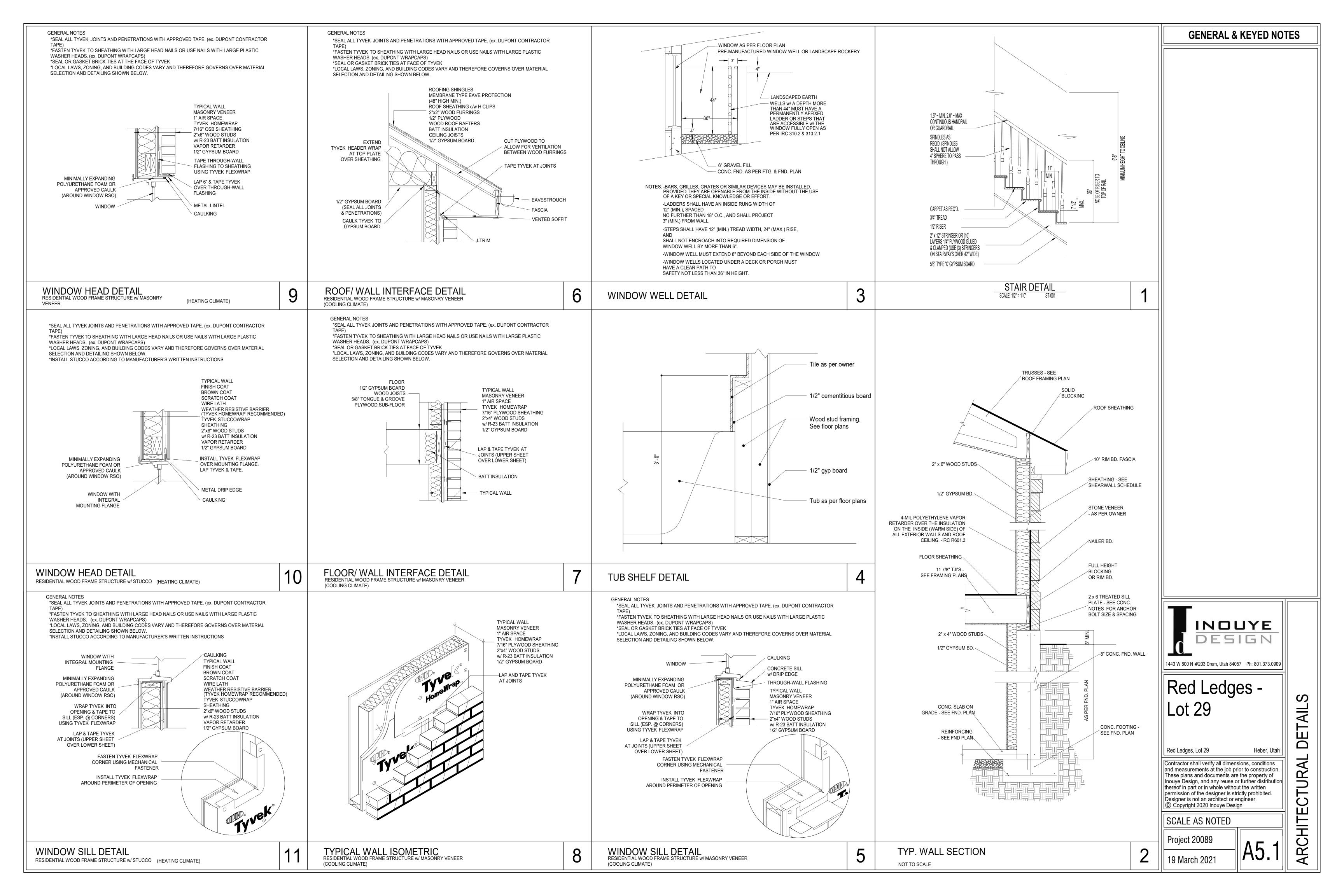


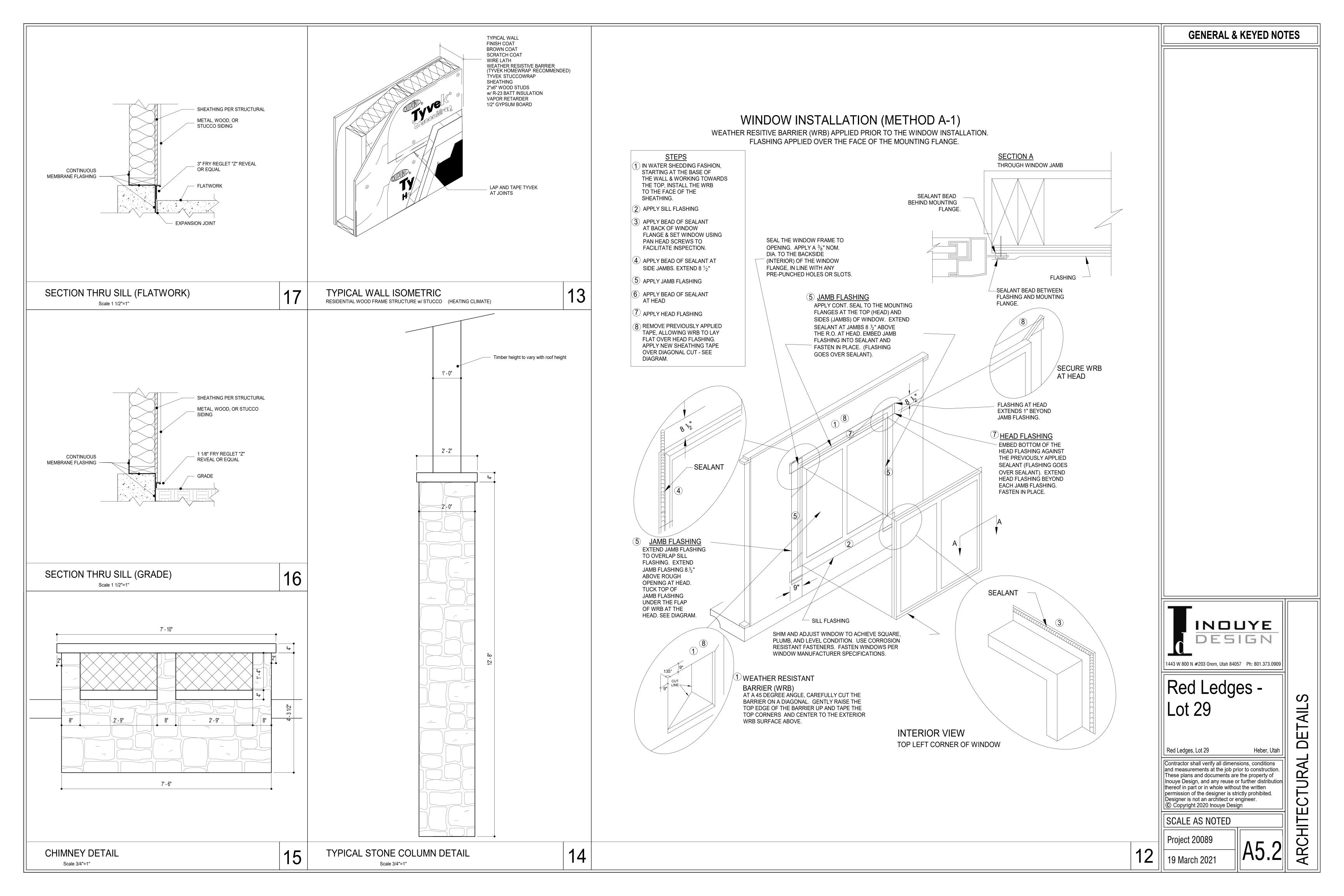
# ā త K SECTION BUILDING

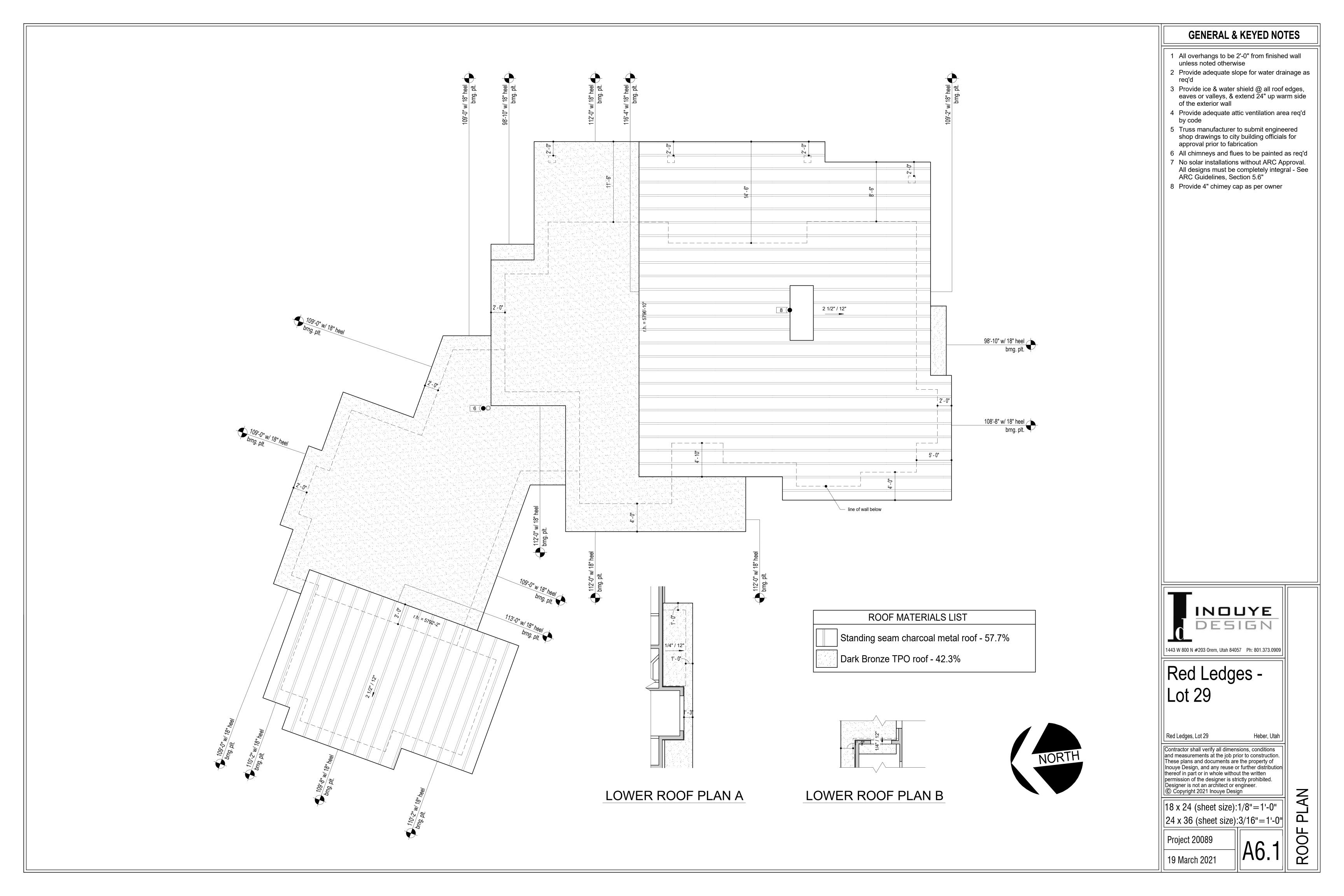
Heber, Utah

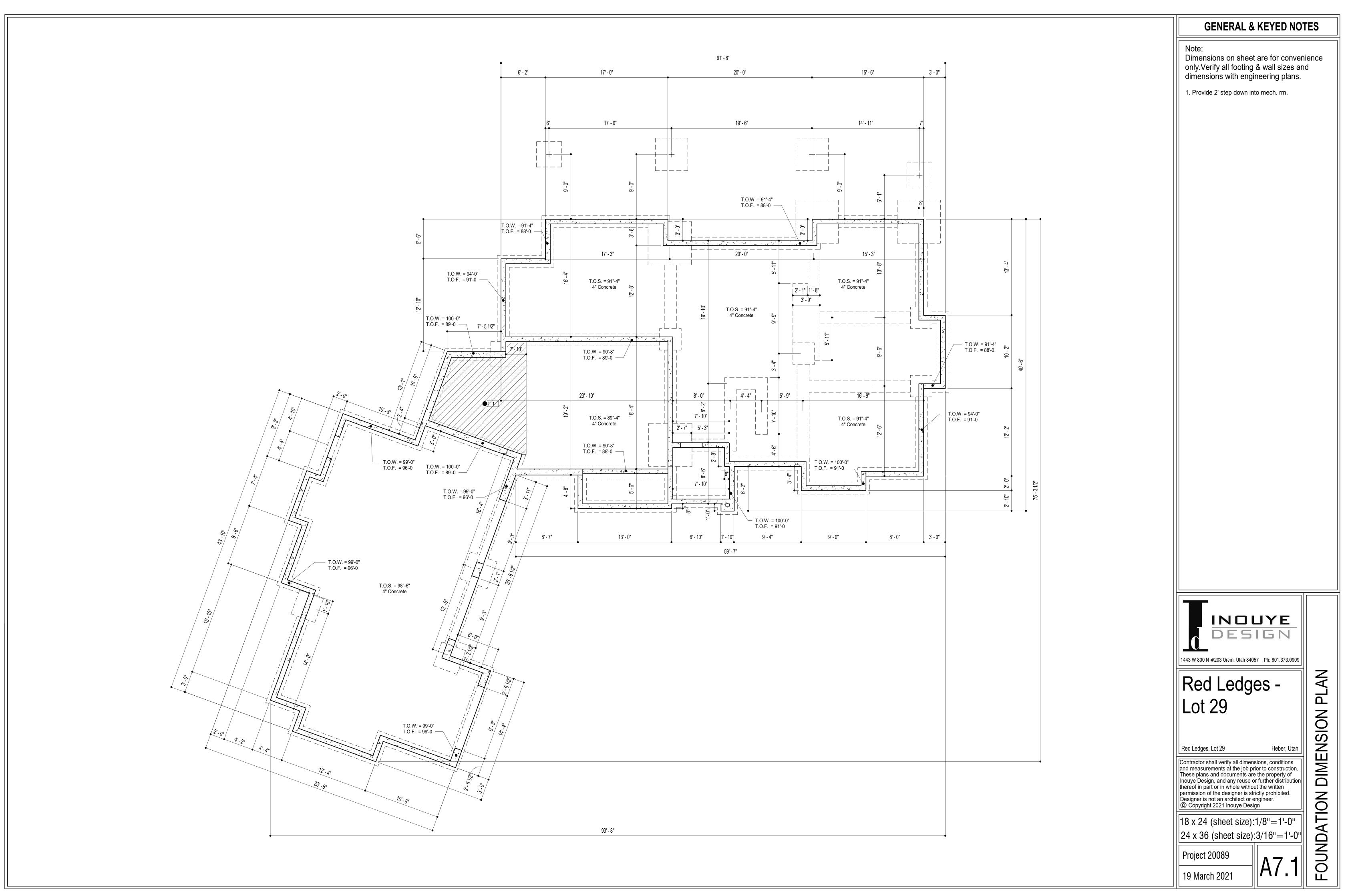


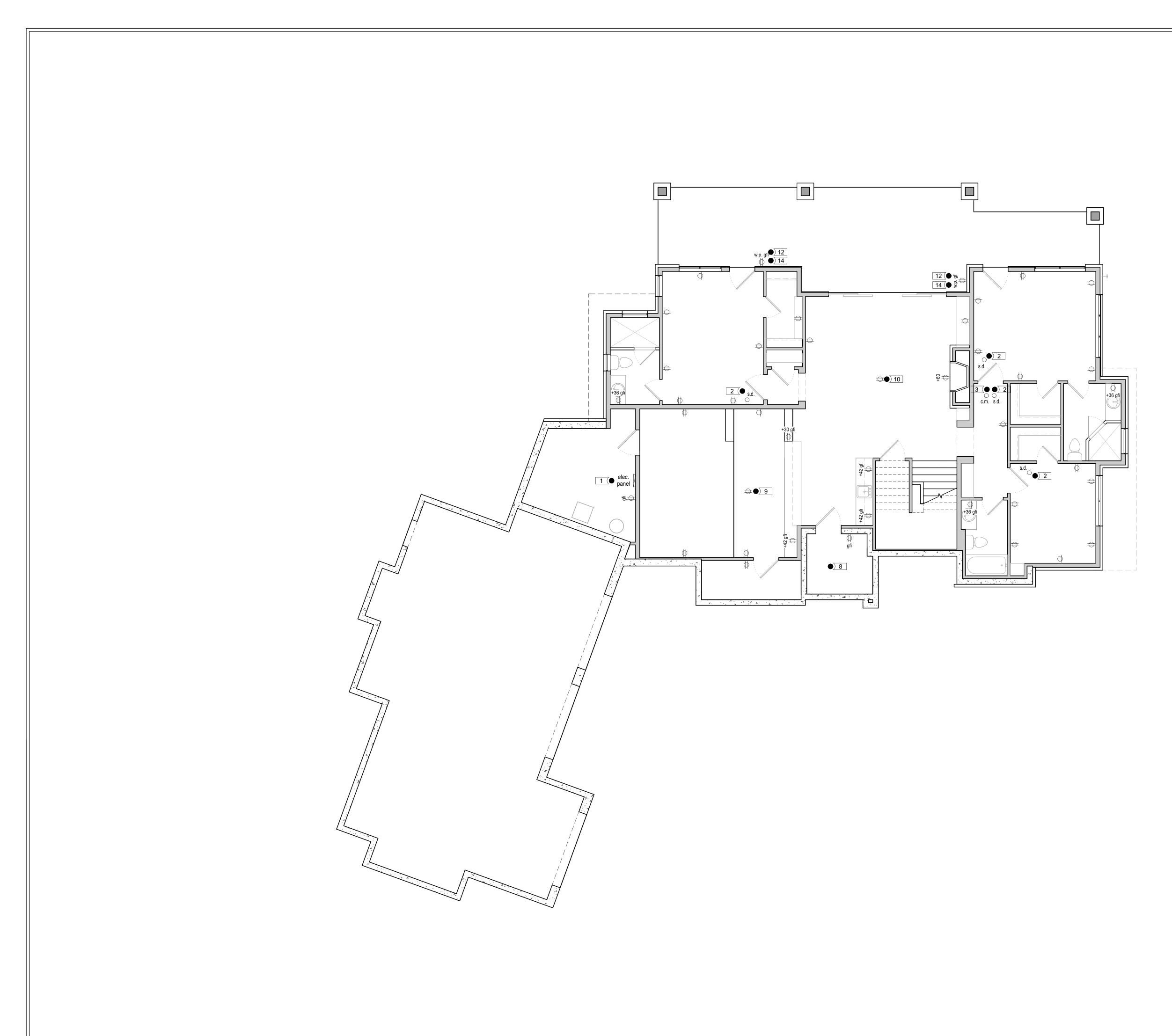










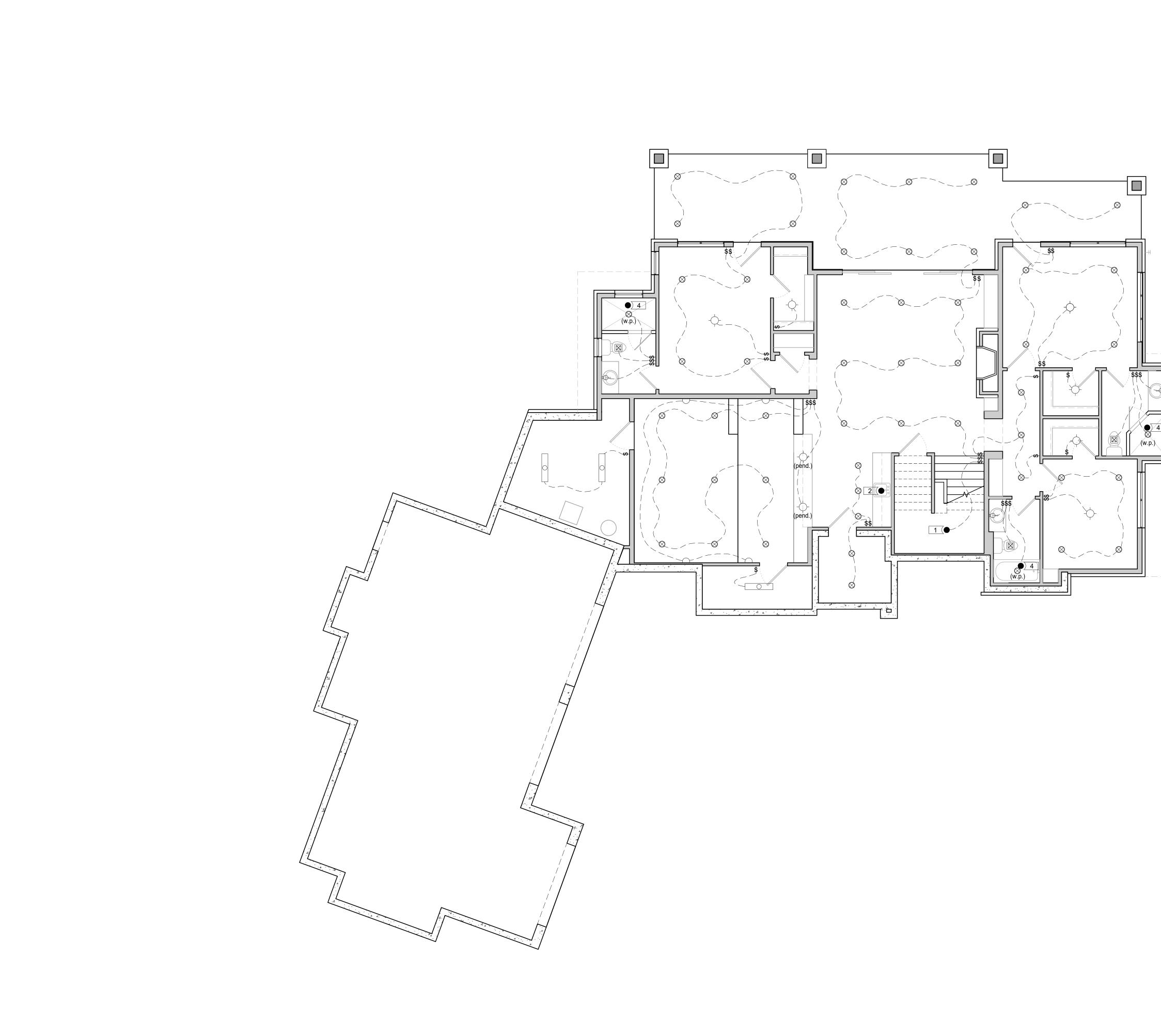


- 1 Provide electrical panel as per code
- 2 All smoke detectors to be hard-wired, interconnected, and have battery backup as per IRC R314
- 3 Provide carbon monoxide detectors @ each habitable level of dwelling as per IRC
- All receptacles serving kitchen counter tops, in garages, baths, unfinished basements, and outside receptacles shall be GFCI protected. Per IRC E3902
- 5 Outlets are req'd so that no point along walls is more than 6 feet from an outlet
- 6 All electrical installations shall comply with the IRC 2015 & NEC 2014
- 7 All branch circuits that supply electrical in bedrooms need to be provided with arc-fault protection. Per IRC 3902.12
- 8 Provide req'd electrical for Wine Rm. chiller as per owner
- 9 Provide outlet @ ceiling for projector10 Floor outlet w/ metal protective covering as
- per owner 11 Provide U-fer ground as per IRC
- 12 An outlet is req'd outside the front and rear of the dwelling as per IRC
- 13 Outlets are req'd abv. counter space so that no point along the wall is more than 24" from an outlet
- 14 All exterior outlets to be GFCI protected w/ weather proof bubble covers
- 15 All outlets are to be tamper resistant as req'd

## ELECTRICAL LEGEND

- $\oint$  110v duplex outlet
- <sup>gfi</sup> interrupter
- <sup>wp gfi</sup> ↓ 110v duplex outlet waterproof ground fault circuit
- $\oplus$  220v duplex outlet
- TE Telephone jack
- $\overline{\mathsf{TV}}$  Cable Outlet
- $\bigcirc$  Smoke Detector as per code s.d.
- $\bigcirc$  Carbon monoxide detector as per code c.m.
- Electrical panel
- EV Provide junction box & conduit for future elec. vehicle hook up

	i
THAT W 800 N #203 Orem, Utah 84057 Ph: 801.373.090	19
Red Ledges -	AN
Lot 29	POWER PLAN
Red Ledges, Lot 29 Heber, Uta	
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$18 \times 24$ (sheet size):1/8"=1'-0" 24 x 36 (sheet size):3/16"=1'-0	
Project 20089	RR
19 March 2021	

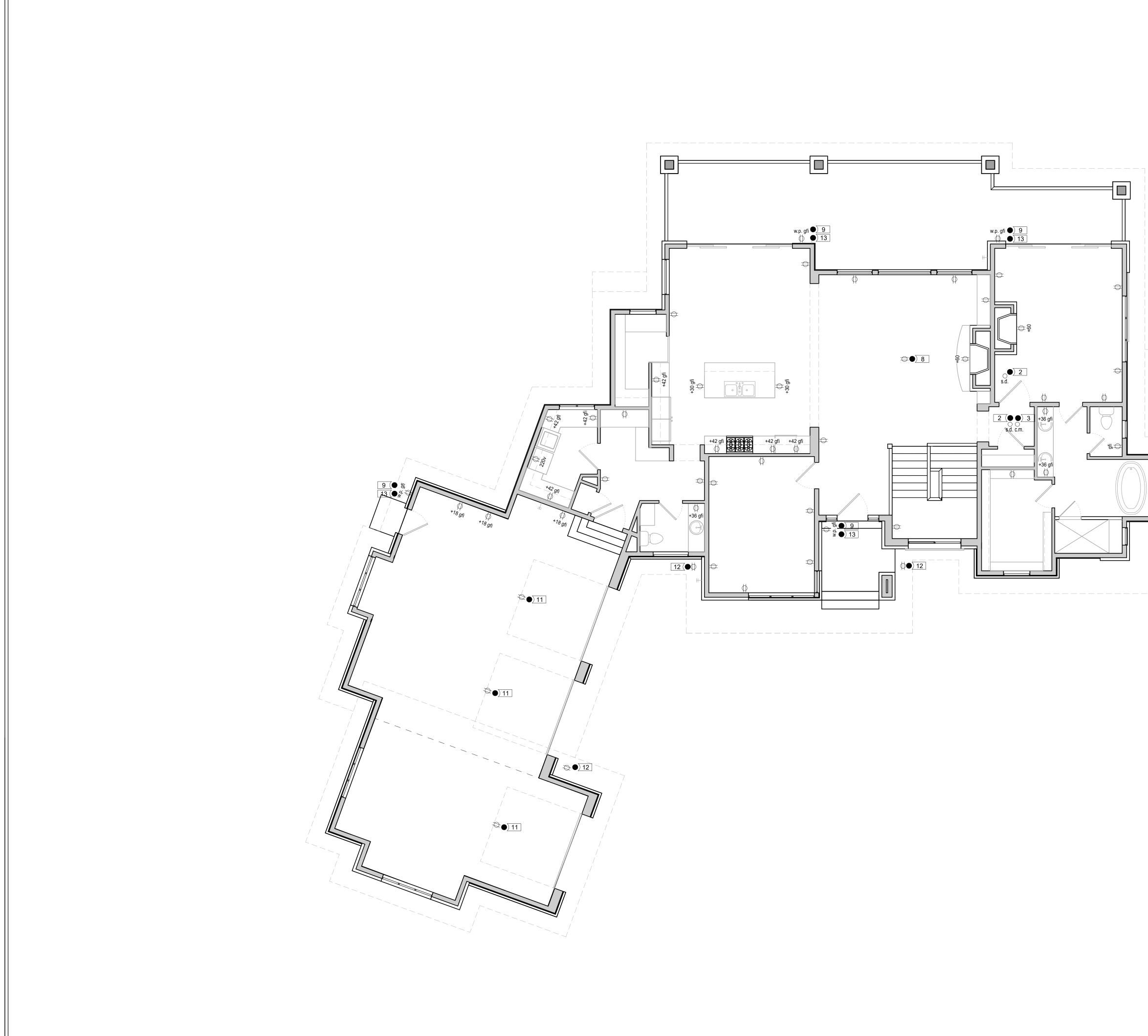


GENER	AL &	<b>KEYED</b>	NOTES

1	То	above
L	10	above

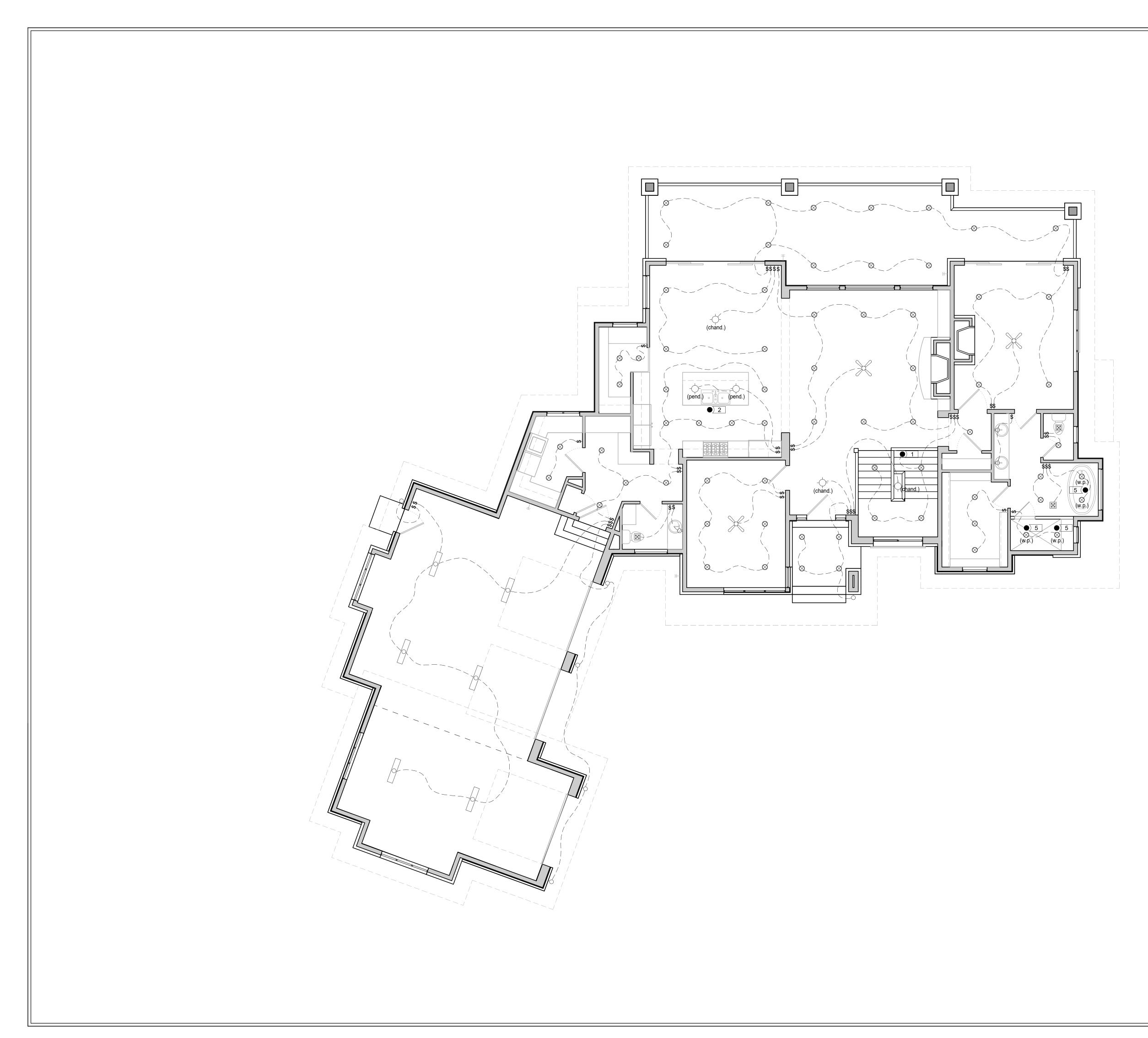
- 2 Provide switch to disposal
- 3 Provide landscape lighting as per owner4 All light fixtures above tubs, showers, & Steam Rm. to be waterproof

LIGI	HTING	S LEC	GEN	)
	Ceiling mou L.E.D. lamp		ire as per	owner
pend.	Ceiling mou owner L.E.D. lamp		dant fixtu	re as per
-chand.		unted cha	ndelier as	3
$\otimes$	ICAT reces L.E.D. light	sed fixtur	e as per o	owner
	Wall mount L.E.D. lamp		as per o	wner
$\bigcap$	Wall sconc L.E.D. lamp	-	owner	
	Ceiling mou per owner Flourescen		rescent fi	xture as
Q	Exterior wa owner L.E.D. lamp	ll mounte	d fixture a	as per
	Ceiling fan L.E.D. lamp	as per ow	/ner	
	Flood light	as per ow	ner	
s	Stair Light a photocell w	•		ch to
	High output as per own	•	ghting	
⊠	Exhaust far	n fixture a	s per owr	ner
\$	Light switch	1		
	NOI ES Orem, Utah 840	IG	Ζ	Z
Red L	edg	es -		٦LA
Lot 29				EVEL LIGHTING PLAN
Red Ledges, Lot 2			ber, Utah	D D
Contractor shall ve and measurement These plans and o Inouye Design, ar thereof in part or i permission of the Designer is not ar © Copyright 202	ts at the job pr documents are id any reuse o n whole withou designer is str n architect or e	ior to cons the prope or further di ut the writte rictly prohik engineer.	truction. rty of stribution en	LEVEL L
18 x 24 (sh 24 x 36 (sh				Ш О
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19 March 20		∥ <b>E</b> 1	.2	

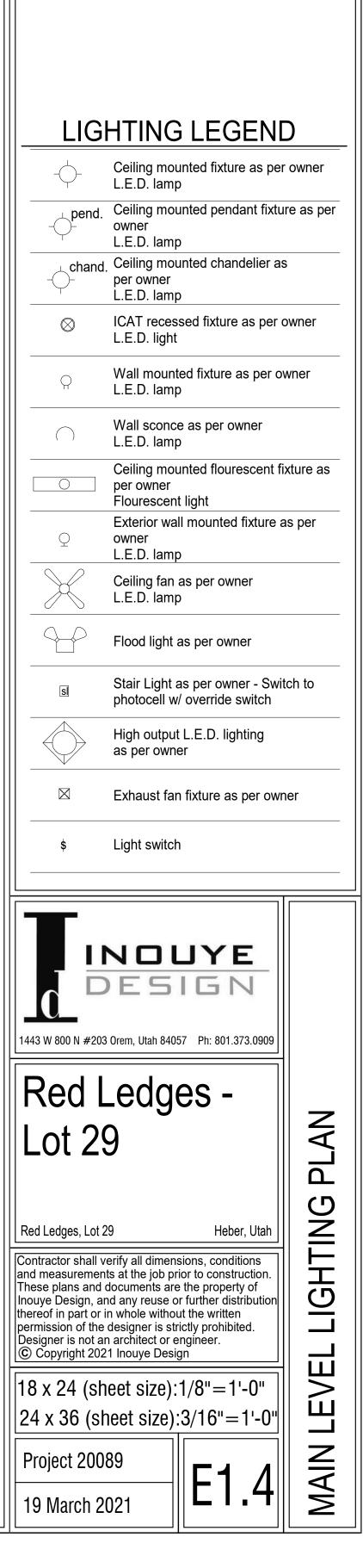


_		
	• # GENERAL & KEYED NO	TES
	1 All electrical installations shall compl IRC 2015 & NEC 2014	y with the
	2 All smoke detectors to be hard-wired interconnected, and have battery bac per IRC R314	•
	<ul> <li>3 Provide carbon monoxide detectors ( habitable level of dwelling as per IRC</li> <li>4 All receptacles serving kitchen count in garages, baths, unfinished basem</li> </ul>	er tops,
	outside receptacles shall be GFCI pr Per IRC E3902 5 Outlets are reg'd so that no point alo	
	<ul><li>is more than 6 feet from an outlet</li><li>6 All outlets are to be tamper resistant</li><li>7 All branch circuits that supply electric</li></ul>	as req'd cal in
	<ul> <li>bedrooms need to be provided with a protection. Per IRC 3902.12</li> <li>8 Floor outlet w/ metal protective cover</li> </ul>	
	<ul> <li>per owner</li> <li>9 An outlet is req'd outside the front an the dwelling as per IBC</li> </ul>	d rear of
	<ul> <li>the dwelling as per IRC</li> <li>10 Outlets are req'd abv. counter space</li> <li>no point along the wall is more than 2</li> </ul>	
	an outlet 11 Provide outlet @ ceiling for garage d opener	oor
	12 Provide 110v outlet @ eaves for holi lighting w/ photocell & override switcl	
	owner 13 All exterior outlets to be GFCI protec weather proof bubble covers	ted w/
	ELECTRICAL LEGE	ND
	110v duplex outlet	
	<sup>gfi</sup> o 110v duplex outlet - ground fault circ interrupter <sup>wp gfi</sup> 110v duplex outlet waterproof - grou	
	TE Telephone jack	
	TV Cable Outlet	
	Smoke Detector as per code s.d.	
	Carbon monoxide detector as per co	ode
	Electrical panel	
	EV Provide junction box & conduit for fu	iture
	DESIGN	
	1443 W 800 N #203 Orem, Utah 84057 Ph: 801.373.0909	
	Red Ledges -	
	Lot 29	LAN
	Red Ledges, Lot 29 Heber, Utah	D M
	Contractor shall verify all dimensions, conditions and measurements at the job prior to construction.	NEI N
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	18 x 24 (sheet size):1/8"=1'-0"	EVE
	24 x 36 (sheet size):3/16"=1'-0" Project 20089	Z
	19 March 2021	MAI

	1
	1
	1



- 1 To below
- 2 Provide switch to disposal
- 3 Provide doorbell as per owner
- 4 Provide recessed-can lighting @ soffit as per owner
- 5 All light fixtures above tubs, showers, & Steam Rm. to be waterproof



## FOOTING SCHEDULE

LABEL	WIDTH	LENGTH	THICK- NESS	CROSS WISE	LENGTH WISE	NOTES
F1	1'-8"	CONT.	12"	-	(2) #4	-
F2	3'-0"	3'-0"	12"	(4) #4	(4) #4	-
F3	3'-6"	3'-6"	12"	(5) #4	(5) #4	-
F4	4'-0"	4'-0"	12"	(6) #4	(6) #4	-
F5	4'-6"	4'-6"	12"	(4) #5	(4) #5	-
F6	6'-0"	6'-0"	14"	(7) #5	(7) #5	-
F7	6'-0"	6'-0"	16"	(7) #5	(7) #5	Top and Bottom
F8	Size	Size	12"	#4at12"o.c.	#4at12"o.c.	-
1. STEE	EL GRAD	E Fy = 60	ksi.		T.O.V	/. = Top of Wall
2. FRO	ST DEPT	H AS REC	QUIRED. (	(MIN. 40")	T.O.F	= Top of Footing
			1 0 0 0 0	、 ·	<b>T O O</b>	T ( O )

FROST DEPTH AS REQUIRED. (MIN. 40")
 FOOTINGS SHALL BE f'c = 3,000 psi.

T.O.S. = Top of Suspended Slab 4. WALLS AND SLABS SHALL BE f'c = 4,000 psi.T.O.G. = Top of Slab-on-Grade

5. WALLS AND SLABS SHALL BE AIR-ENTRAINED 6% ± 1%.

## COLUMN SCHEDULE

#	COLUMN SIZE	Top/Bottom Plate Thickness	#	COLUMN SIZE	Top/Bo Plate Thi
C1	#1d.f. 12 x 12	1"	C3	W12 x 35	3/4"
C2	TS 5 x 5 x 3/8"	3/4"	C4		
1. C	2 see detail 40.				
2. C	C3 see detail 40.				

CONCRETE COLUMN SCHEDULE

WIDTH	LENGTH	TOTAL BARS	WIDTH BARS	LENGTH BARS	TIES SPACING	NOTES
8"	16"	8-#4	2-#4	4-#4	#3-8"o.c.	А
12"	12"	8-#5	3-#5	3-#5	#3-10"o.c.	В
	•		0 nsi			<b>6</b>
	WIDTH 8" 12" EL GRAD	WIDTH         LENGTH           8"         16"           12"         12"           EL GRADE Fy = 60	WIDTH         LENGTH         TOTAL BARS           8"         16"         8-#4           12"         12"         8-#5           EL GRADE Fy = 60 ksi.         60 ksi.	WIDTH         LENGTH         TOTAL BARS         WIDTH BARS           8"         16"         8-#4         2-#4           12"         12"         8-#5         3-#5	WIDTH         LENGTH         TOTAL BARS         WIDTH BARS         LENGTH BARS           8"         16"         8-#4         2-#4         4-#4           12"         12"         8-#5         3-#5         3-#5           EL GRADE Fy = 60 ksi.         E         1000000000000000000000000000000000000	WIDTH         LENGTH         BARS         BARS         BARS         SPACING           8"         16"         8-#4         2-#4         4-#4         #3-8"o.c.           12"         12"         8-#5         3-#5         3-#5         #3-10"o.c.           EL GRADE Fy = 60 ksi.         EL GRADE Fy = 60 ksi.

2. CONCRETE SHALL BETC = 4,000 psi.

3. TRIPLE TIES ON TOP.

## ANCHOR BOLT SCHEDULE

,		<b>—</b>
LOCATION	SPACING (U.N.O.)	SOLE PLA
Bearing Walls	1/2" x 10" A.B.'s AT 32"o.c.	(1)2x6 PLATE
SW2 Shear Wall	1/2" x 10" A.B.'S AT 24"o.c.	(1)2x6 PLATE
SW3 Shear Wall	1/2" x 10" A.B.'S AT 12"o.c.	(1)2x6 PLATE
SW4 Shear Wall	1/2" x 10" A.B.'S AT 8"o.c.	(1)2x6 PLATE
SW5 Shear Wall	1/2" x 12" A.B.'S AT 6"o.c.	3x6 PLATE
Note: All foundation anchor	bolts shall be embedded 7" into th	e concrete. (Mir

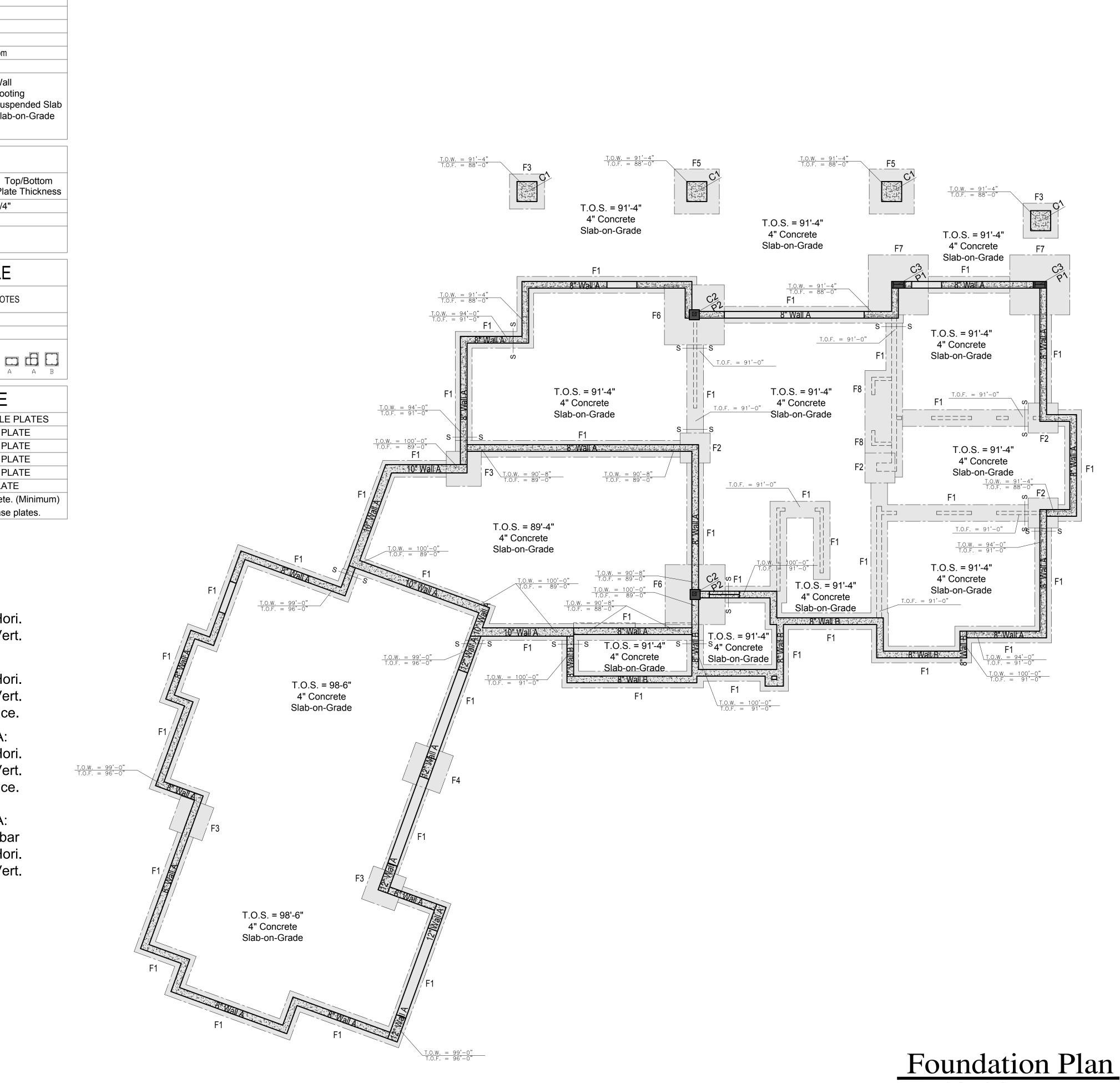
Note: Anchor bolts shall be within the middle third of the foundation base plates.

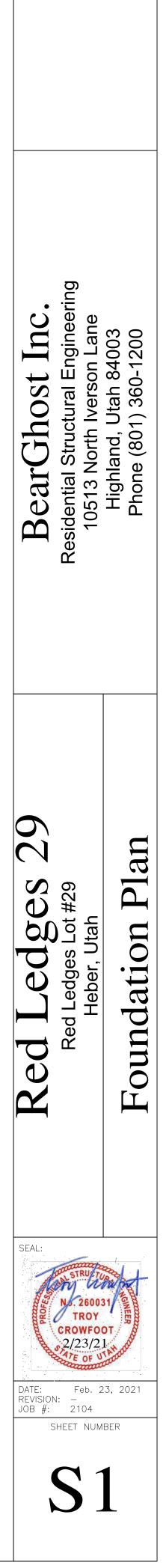
8" Concrete Wall A: #4 bars at 12"o.c. Hori. #4 bars at 18"o.c. Vert.

8" Concrete Wall B: #4 bars at 12"o.c. Hori. #4 bars at 16"o.c. Vert. 5" away from soil face.

10" Concrete Wall A: #5 bars at 12"o.c. Hori. #5 bars at 12"o.c. Vert. 7" away from soil face.

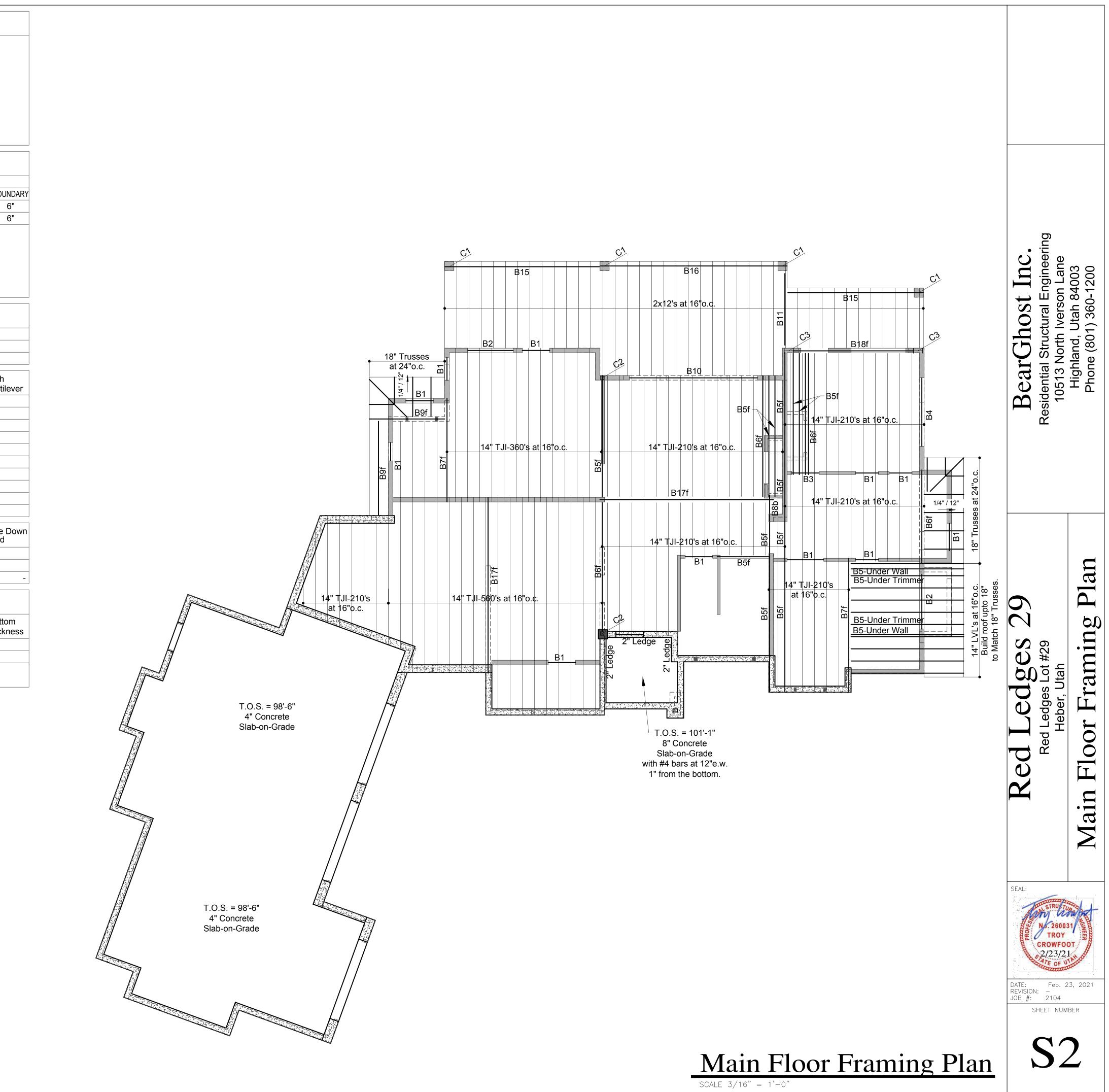
12" Concrete Wall A: Two Curtains of Rebar #4 bars at 12"o.c. Hori. #4 bars at 18"o.c. Vert.



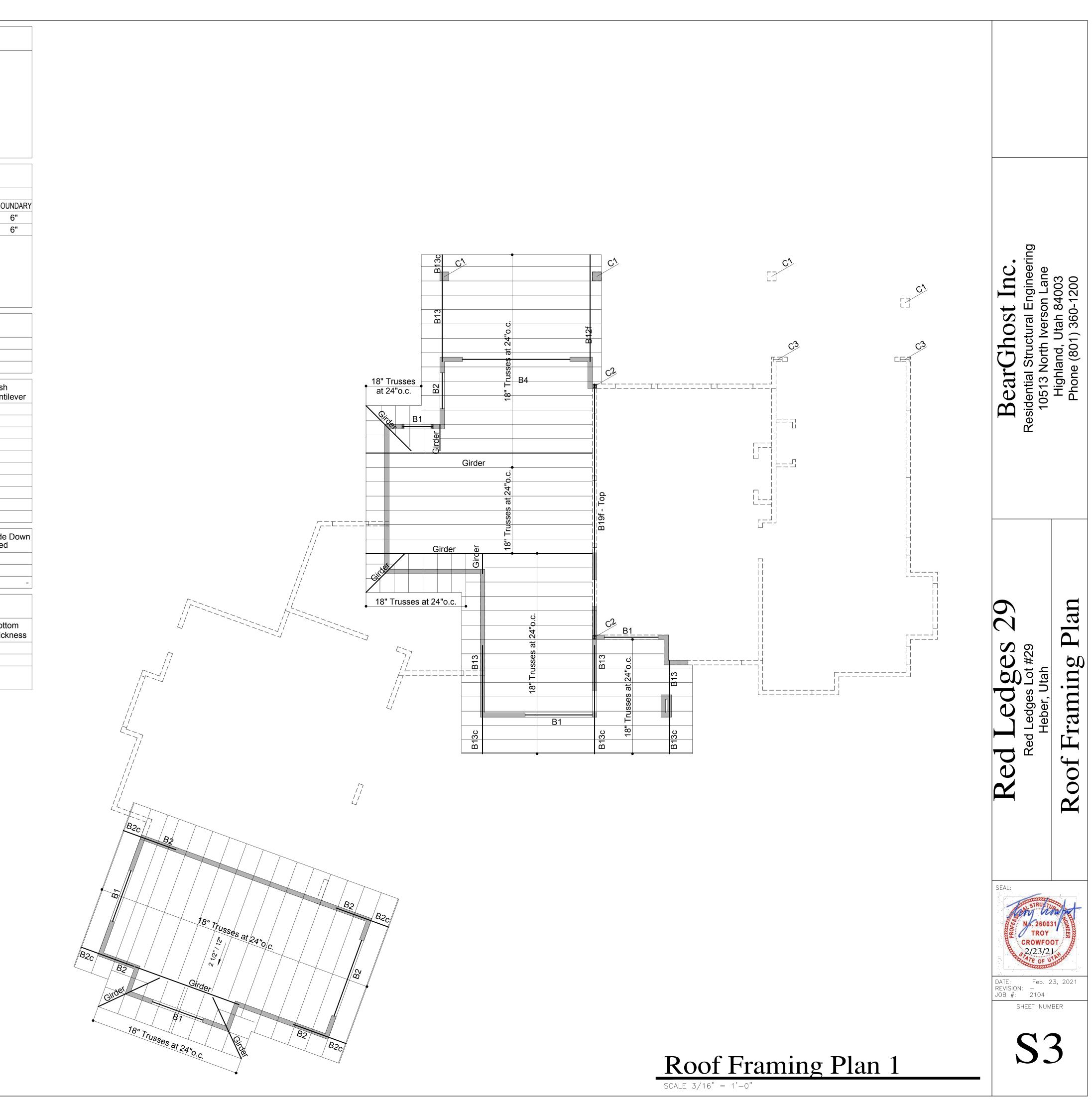


SCALE 3/16" = 1'-0"

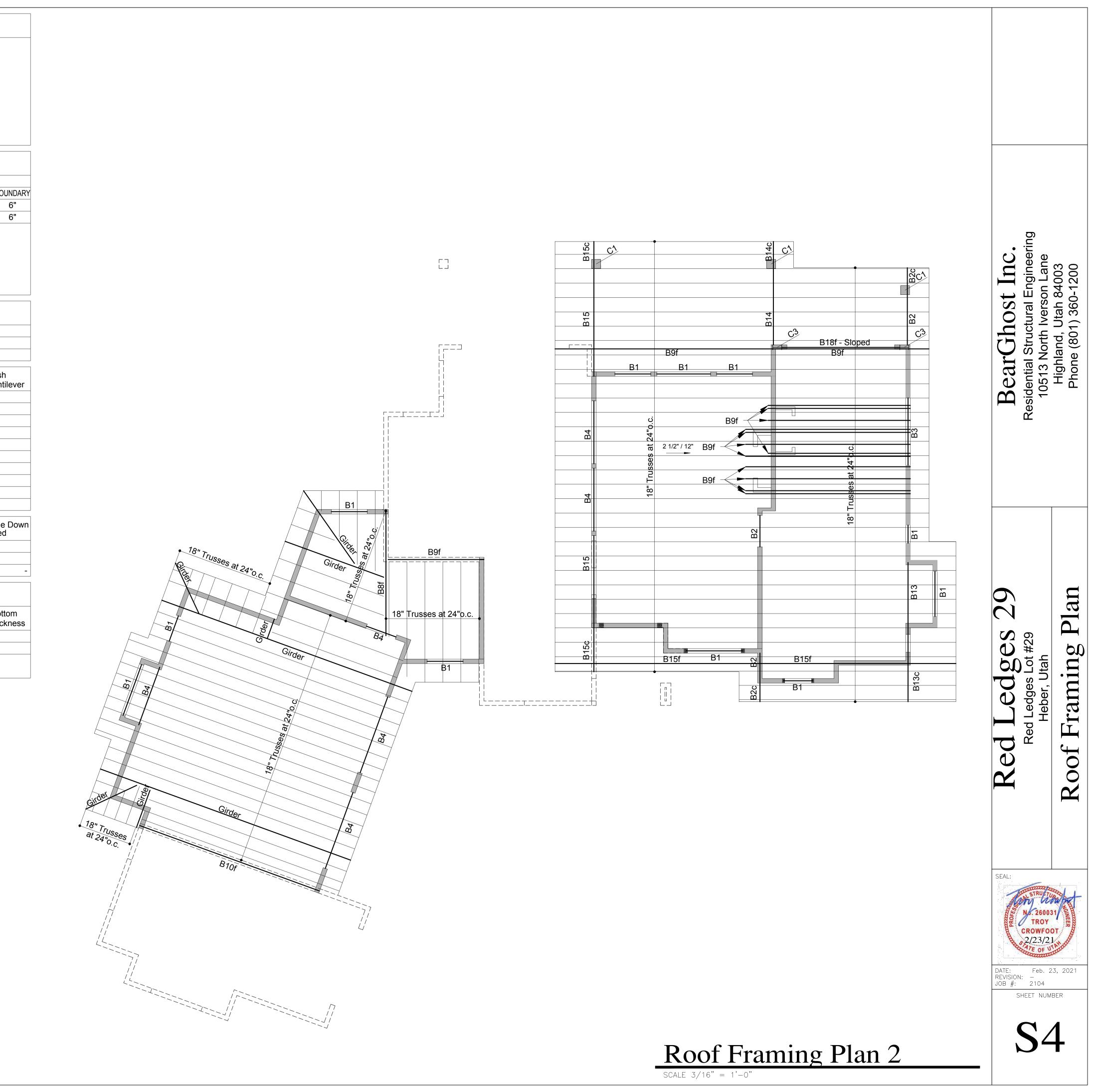
		D	ESIG	N (	CR	ITER	RIA		
R	oof:				FI	oor:			
T C	Elev. = 5,77	1 ft			''	Live =	40 psf		
	Ground Snov		psf			Dead =	-		
	Snow Drift =		•	)''	S	eismic:	•		
	5 ( )					V = .07	-		
	Roof Snow = Dead = 25 ps	•			14	V = .14 /ind:	0 ^ VV		
	Trusses (45	•	,		V		h Exp. C		
		,,-,-	/		S	oil:			
	Snow Load [	Duratio	n Factor = 1	.00		q = 1,50	00 psf		
	D	IAF	PHRAC	GΝ	1 S	CHE	DUL	E	
	_, SHEAT	THING	SPAN				NAIL	ING	
AB	THICK.	TYPE		BLO	CKED	NAILS	EDGE	FIELD	BOL
Roc	of 19/32"	OSB	40/20	N	lo	10d	6"	12"	
Floo	or 3/4"	OSB	24"o.c.	N	lo	10d	6"	10"	
	LL NAILS, AF			S			I	1	
	d common na				1"   or	ath $2.1/2$	ן ייכ		
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•						•			
	IAILS ARE TO			SH W		OP OF S	HEATHI	NG.	
•	o not over dri		,						
3. S	TAGGER NA	ILS AT	COMMON	PAN	EL ED	GES.			
		N/	VALL	SC	<b>`HF</b>		F		
		V							
abel	Height (Max	(.)	Description						
W1	14'-6"		#2 d.f. 2x6's	at 16	6"o.c.				
W2	16'-0"		#2 d.f. 2x6's	at 12	2"o.c.				
b = t	below	E	BEAM	SC	CHE	EDUI	LE		flush canti
B1	(2) 2x10's				B11	GL 3 1/	'8" x 12"	0 = 0	Janu
B2	(3) 2x10's				B12		8" x 13 1/	2"	
B2 B3	(3) 2 x 10 s (3) 1 3/4" x 9	) 1/2" I	VI 's		B12	GL 5 1/		-	
вз В4	(3) 1 3/4" x 9				В13 В14		o x 9 /8" x 10 1/	2"	
	(3) 1 3/4" x 8 (1) 1 3/4" x 1							۷	
B5	(1) 1 3/4 X 1 (2) 1 3/4" X 1				B15		8" x 12"	2"	
B6	. ,				B16		′8" x 16 1/	Ζ	
B7	3 1/2" x 14"				B17	W12 x 2			
B8	5 1/4" x 18"				B18	W12 x 3			
B9	(2) 1 3/4" x 1				B19	W18 x	86		
310	(3) 1 3/4" x 1	18" LVL	.'S		B20	-			
		ΗΔ	NGEF	2.5	SCF		JIF	ud = Up	side
H1	HU11 or HU			,165	H4	1	tail #55	SK = SKE	wed
H2					H5		tail #55		
	LSSU Hange			,150	_		all #30		
H3	HGUS5.50/1	4	10	,100	H6	-			
		CC	DLUM	18	SCH	HED	ULE		
#	COLUMN S	IZE	Top/Botto Plate Thickn		#	COLUI	MN SIZE	Top/ Plate 1	
C1	#1d.f. 12 x 1			1699	C3	W12 x 3	35	3/4"	
		_	•			VVIZX	00	5/4	
C2	TS 5 x 5 x 3/		3/4"		C4				
	2 see detail 4 3 see detail 4								



Roc									
		DI	ESIGI	N (	CR	ITER	RIA		
					С				
	51: Elev. = 5,77 <sup>2</sup>	1 ft				oor: Live =	10 nef		
	Ground Snov		sf			Dead =			
	Snow Drift =	•		"	S	eismic:	20 001		
		·	U			V = .07	6 * W		
	Roof Snow =	•				V = .14	0 * W		
	Dead = $25 \text{ ps}$	•	,		N N	/ind:			
	Trusses (45	,20,0,5)			S	oil:	h Exp. C		
	Snow Load [	Duration	Factor = 1	.00		q = 1,50	00 psf		
	D	IAP	HRAG	GΝ	IS	CHE	DUL	E	
	SHEA	THING	SPAN				NAI	LING	
LABE	L THICK.	TYPE	RATING	BLOO	CKED	NAILS	EDGE	FIELD	BOL
Roof		OSB	40/20	N	0	10d	6"	12"	
Floor		OSB	24"o.c.		0	10d	6"	12	
	L NAILS, AF				0	100	0	10	
2. N/	)d common r AILS ARE TC o not over dri	) BE DR	IVEN FLU			•	SHEATHII	NG.	
3. ST	AGGER NA	ILS AT (	COMMON	PANE	EL ED	GES.			
		N	/ALL	SC	HE	EDUI	E		
abel	Height (Max								
W1	14'-6"		escription 2 d.f. 2x6's	ot 16	S"o o				
W2	14-0"		-2 u.i. 2x0 5	atit	J U.C.				
V V Z			2 d f 2v6's	at 12	2"0 0				
	10-0	#	2 d.f. 2x6's	at 12	2"o.c.				
b = be						וחם=	F	f = f	
	elow		EAM				<b>E</b> 8" x 12"	f = f c = c	
	elow (2) 2x10's				HE	GL 3 1/	8" x 12"	c = c	
B1 B2	elow (2) 2x10's (3) 2x10's	B	EAM		B11 B12	GL 3 1/ GL 3 1/	8" x 12" 8" x 13 1/	c = c	
B1 B2 B3	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9	B 9 1/2" LV	EAM /L's		B11 B12 B13	GL 3 1/ GL 3 1/ GL 5 1/	8" x 12" 8" x 13 1/ 8" x 9"	c = c /2"	
B1 B2 B3 B4	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9	B 9 1/2" LV 9 1/2" LV	EAM /L's /L's		B11 B12 B13 B14	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/	c = c /2"	
B1 B2 B3 B4 B5	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1	B 9 1/2" LV 9 1/2" LV 1/2" LV	EAM /L's /L's s		B11 B12 B13 B14 B15	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12"	c = c /2" /2"	
B1 B2 B3 B4 B5 B6	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1	B 9 1/2" LV 9 1/2" LV 14" LVL's 14" LVL's	EAM /L's /L's s		B11 B12 B13 B14 B15 B16	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ GL 5 1/	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/	c = c /2" /2"	
B1 B2 B3 B4 B5 B6 B7	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 3 1/2" x 14"	B ) 1/2" LV ) 1/2" LV ) 1/2" LV  4" LVL's Paralan	EAM /L's /L's s s n		B11 B12 B13 B14 B15 B16 B17	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 2	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26	c = c /2" /2"	
B1 B2 B3 B4 B5 B6 B7 B8	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 3 1/2" x 14" 5 1/4" x 18"	B 1/2" LV 1/2" LV 1/2" LV 14" LVL's Paralan Paralan	EAM /L's /L's s s n n		B11 B12 B13 B14 B15 B16 B17 B18	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 3	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35	c = c /2" /2"	
B1 B2 B3 B4 B5 B6 B7 B8 B9	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 3 1/2" x 14" 5 1/4" x 18" (2) 1 3/4" x 1	B 1/2" LV 1/2" LV 1/2" LV 14" LVL's Paralan Paralan 18" LVL's	EAM /L's /L's s s n n s		<ul> <li>B11</li> <li>B12</li> <li>B13</li> <li>B14</li> <li>B15</li> <li>B16</li> <li>B17</li> <li>B18</li> <li>B19</li> </ul>	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 2	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35	c = c /2" /2"	
B1 B2 B3 B4 B5 B6 B7 B8 B9	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 3 1/2" x 14" 5 1/4" x 18"	B 1/2" LV 1/2" LV 1/2" LV 14" LVL's Paralan Paralan 18" LVL's 18" LVL's	EAM /L's /L's s s n n s s	SC	<ul> <li>B11</li> <li>B12</li> <li>B13</li> <li>B14</li> <li>B15</li> <li>B16</li> <li>B17</li> <li>B18</li> <li>B19</li> <li>B20</li> </ul>	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 2 W12 x 2 W18 x 2 -	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35 86	c = c /2" /2"	canti
B1 B2 B3 B4 B5 B6 B7 B8 B9 B10	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 5 1/4" x 18" (2) 1 3/4" x 1 (3) 1 3/4" x 1 (3) 1 3/4" x 1	B 1/2" LV 1/2" LV 1/2" LV 14" LVL's Paralan Paralan 18" LVL's 18" LVL's HA	EAM /L's /L's s s n n s s <b>NGEF</b>	SC	EXAMPLE 2 11 12 12 11 11	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 3 W12 x 3 W18 x 3 -	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35 86 ULE	c = c /2" /2"	canti
B1 B2 B3 B4 B5 B6 B7 B8 B9 B10 H1	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 (2) 1 3/4" x 1 5 1/4" x 18" (2) 1 3/4" x 1 (3) 1 3/4" x 1 HU11 or HU	B 1/2" LV 1/2" LV 1/2" LV 14" LVL's Paralan Paralan 18" LVL's 18" LVL's 18" LVL's 18" LVL's 18" LVL's 18" LVL's 18" LVL's 14	EAM /L's /L's s s n n s s <b>NGEF</b> 4	SC 8 7 8 165	B11         B11         B12         B13         B14         B15         B16         B17         B18         B19         B20	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 2 W12 x 2 W12 x 2 - -	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35 86 ULE tail #55	c = c /2" /2"	canti
B1 B2 B3 B4 B5 B6 B7 B8 B9 B10 H1	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 5 1/4" x 18" (2) 1 3/4" x 1 (3) 1 3/4" x 1 (3) 1 3/4" x 1	B 1/2" LV 1/2" LV 1/2" LV 14" LVL's Paralan Paralan 18" LVL's 18" LVL's 18" LVL's 18" LVL's 18" LVL's 18" LVL's 18" LVL's 14	EAM /L's /L's s s n n s s <b>NGEF</b> 4	SC	EXAMPLE 2 11 12 12 11 11	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 2 W12 x 2 W12 x 2 - -	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35 86 ULE	c = c /2" /2"	canti
B1 B2 B3 B4 B5 B6 B7 B8 B9 B10 H1 H2	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 (2) 1 3/4" x 1 5 1/4" x 18" (2) 1 3/4" x 1 (3) 1 3/4" x 1 HU11 or HU	B 9 1/2" LV 9 1/2" LV 9 1/2" LV 14" LVL's Paralan Paralan 18" LVL's 18" LVL's HA 14 er	EAM /L's /L's s s n n s s <b>NGEF</b> 4 1	SC 8 7 8 165	B11         B11         B12         B13         B14         B15         B16         B17         B18         B19         B20	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 2 W12 x 2 W12 x 2 - -	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35 86 ULE tail #55	c = c /2" /2"	canti
B1 B2 B3 B4 B5 B6 B7 B8 B9 B10 H1 H2	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 3 1/2" x 14" 5 1/4" x 18" (2) 1 3/4" x 1 (3) 1 3/4" x 1 HU11 or HU LSSU Hange	B 9 1/2" LV 9 1/2" LV 9 1/2" LV 14" LVL's 14" LVL's Paralan Paralan 18" LVL's 18" LVL's HA 14 er 14	EAM /L's /L's s s n n s s <b>NGEF</b> 4 1	SC ,165 ,150 ,100	B11         B11         B12         B13         B14         B15         B16         B17         B18         B19         B20         SCI         H4         H5         H6	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 3 W12 x 3 W12 x 3 - - - - - See De See De See De	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35 86 ULE tail #55 tail #56	c = c /2" /2"	canti
B1 B2 B3 B4 B5 B6 B7 B8 B9 B10 H1 H2	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 3 1/2" x 14" 5 1/4" x 18" (2) 1 3/4" x 1 (3) 1 3/4" x 1 HU11 or HU LSSU Hange	B 1/2" LV 1/2" LV 1/2" LV 14" LVL's 14" LVL's 14" LVL's 14" LVL's 14" LVL's 18" LVL's 18" LVL's 18" LVL's 14 14 er 14 er 14 14 Er 14	EAM /L's /L's s n n s s NGEF 4 1 10	SC ,165 ,150 ,100 N S m	B11         B11         B12         B13         B14         B15         B16         B17         B18         B19         B20         SCI         H4         H5         H6	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 3 W12 x 3 W12 x 3 W12 x 3 - - - - - - - - - - - - - - - - -	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35 86 ULE tail #55 tail #56	c = c /2" /2"	side wed
B1 B2 B3 B4 B5 B6 B7 B8 B9 B10 B10 H1 H2 H3	elow (2) 2x10's (3) 2x10's (3) 1 3/4" x 9 (3) 1 3/4" x 9 (1) 1 3/4" x 1 (2) 1 3/4" x 1 3 1/2" x 14" 5 1/4" x 18" (2) 1 3/4" x 1 (3) 1 3/4" x 1 HU11 or HU LSSU Hange HGUS5.50/1	B 1/2" LV 1/2" LV 1/2" LV 14" LVL's 14" LVL's Paralan 18" LVL's 18" LVL's 18" LVL's 18" LVL's 14 14 er 14 er 14 Paralan 14 Paralan 14 Paralan 14 Paralan 14 Paralan 14 Paralan 14 Paralan	EAM (L's (L's (L's s s n n s s NGEF 4 1 10 LUM Top/Bottor Plate Thickn	SC ,165 ,150 ,100 N S m	CHE B11 B12 B13 B14 B15 B16 B17 B18 B19 B20 CH H4 H5 H6 CH	GL 3 1/ GL 3 1/ GL 5 1/ GL 5 1/ GL 5 1/ W12 x 3 W12 x 3 W12 x 3 W12 x 3 - - - - - - - - - - - - - - - - -	8" x 12" 8" x 13 1/ 8" x 9" 8" x 10 1/ 8" x 12" 8" x 16 1/ 26 35 86 ULE tail #55 tail #56 ULE MN SIZE	c = c /2" /2" /2" ud = Ups sk = ske	side wed



		D	ESIG	SN (	CR	ITER	RIA			
Ro	oof:				FI	oor:				
	Elev. = 5,771	l ft		Live = 40 psf						
	Ground Snov		psf		Dead =	-				
Snow Drift = 10 psf Length 9'-0"						Seismic:				
	5 ( )	. –	~			V = .07	-			
	Roof Snow =	•			14	V = .14 /ind:	0 ^ VV			
Dead = 25 psf (Tile Roof) Trusses (45,20,0,5)					V		h Exp. C			
		,,,,,,,			S	oil:				
	Snow Load E	Duratio	n Factor =	1.00		q = 1,50	00 psf			
	D	IAF	PHRA	GN	1 S	CHE	DUL	E		
	_, SHEAT	SHEATHING					NAIL	ING		
ABE	THICK.			SPAN RATING BLO		NAILS	FIELD	BOL		
Roc	of 19/32"	OSE	3 40/20	N	lo	10d	6"	12"		
Floc	or 3/4"	OSE	3 24"o.c	. N	lo	10d	6"	10"		
Ι Λ	LL NAILS, AR						I	1		
	d common na				1" I er	nath 2 1/2	ר "כ			
	0d common n						)			
•	AILS ARE TO					•	НЕАТНИ	NG		
	o not over dri				, , , , , , , , ,			<b>1</b> 0.		
•	TAGGER NA		,			CES				
5.0			COMMON			ULU.				
		V	VALL	60	יחנ	וו וחב				
		V	VALL	SC						
abel	Height (Max	.)	Description	า						
W1	14'-6"		#2 d.f. 2x6		ე ი"6					
W2	16'-0"		#2 d.f. 2x6							
	10-0		<i>π</i> ∠ u.i. ∠λ0	5 at 12	2 0.0.					
b = b	below	Г		$\sim$		- רו ו		f = 1	flush	
			BEAM	30					canti	
B1	(2) 2x10's				B11	GL 3 1/	′8" x 12"			
B2	(3) 2x10's				B12					
B3	(3) 1 3/4" x 9	) 1/2" L	.VL's		B13					
B4	(3) 1 3/4" x 9				B14					
B5	(1) 1 3/4" x 1				B15					
B5 B6	(1) 1 3/4" x 1				B15					
	3 1/2" x 14"				B10					
B7	5 1/2 x 14									
B8					B18					
B9	( )	(2) 1 3/4" x 18" LVL's			B19					
310	(3) 1 3/4" x 1	8" LVL	_`S		B20	-				
		ΗA	NGE	RS	SCH		ULE	ud = Up	side	
H1	HU11 or HU <sup>2</sup>			4,165	H4	1	etail #55			
H2	LSSU Hange			1,150	H5		tail #56			
H3	HGUS5.50/1		1	0,100	H6	-				
				·						
		CC	DLUM	N S	SCI	HED	ULE			
#	COLUMN S	IZE	Top/Bott Plate Thick		#	COLUI	MN SIZE	Top/ Plate 1	/Bott Thick	
C1	#1d.f. 12 x 12	2	1"		C3	W12 x 3	35	3/4"		
C2	TS 5 x 5 x 3/	/8"	3/4"		C4					
	2 see detail 4				1	1		1		
	3 see detail 4									



### SHEAR WALL SCHEDULE

LABEL	SHEATHING		SPAN	BLOCKED	NAILING			
	THICK.	TYPE	RATING	DLUGRED	NAILS	EDGE	FIELD	
SW1	7/16"	OSB	24/0	YES	8d	6"	12"	
SW2	7/16"	OSB	24/0	YES	8d	4"	12"	
SW3	7/16"	OSB	24/0	YES	8d	3"	12"	
SW4	7/16"	OSB	24/0	YES	8d	2"	12"	
SW5	3/4"	CDX	40/20	YES	(2)10d	3"	12"	
1. ALL NAILS, ARE COMMON NAILS.								
(8d common nails: Shank diameter .131", Length 2 1/2".)								
(10d common nails: Shank diameter, 148, Length 3")								

(10d common nails: Shank diameter .148, Length 3".) 2. NAILS ARE TO BE DRIVEN FLUSH WITH TOP OF SHEATHING.

(Do not over drive nails.) 3. STAGGER NAILS AT COMMON PANEL EDGES.

4. MST - See Detail #42.

5. RJ - See Detail #43.

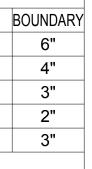
6. HDU2 - See Detail #44. 7. HDU5 - See Detail #45.

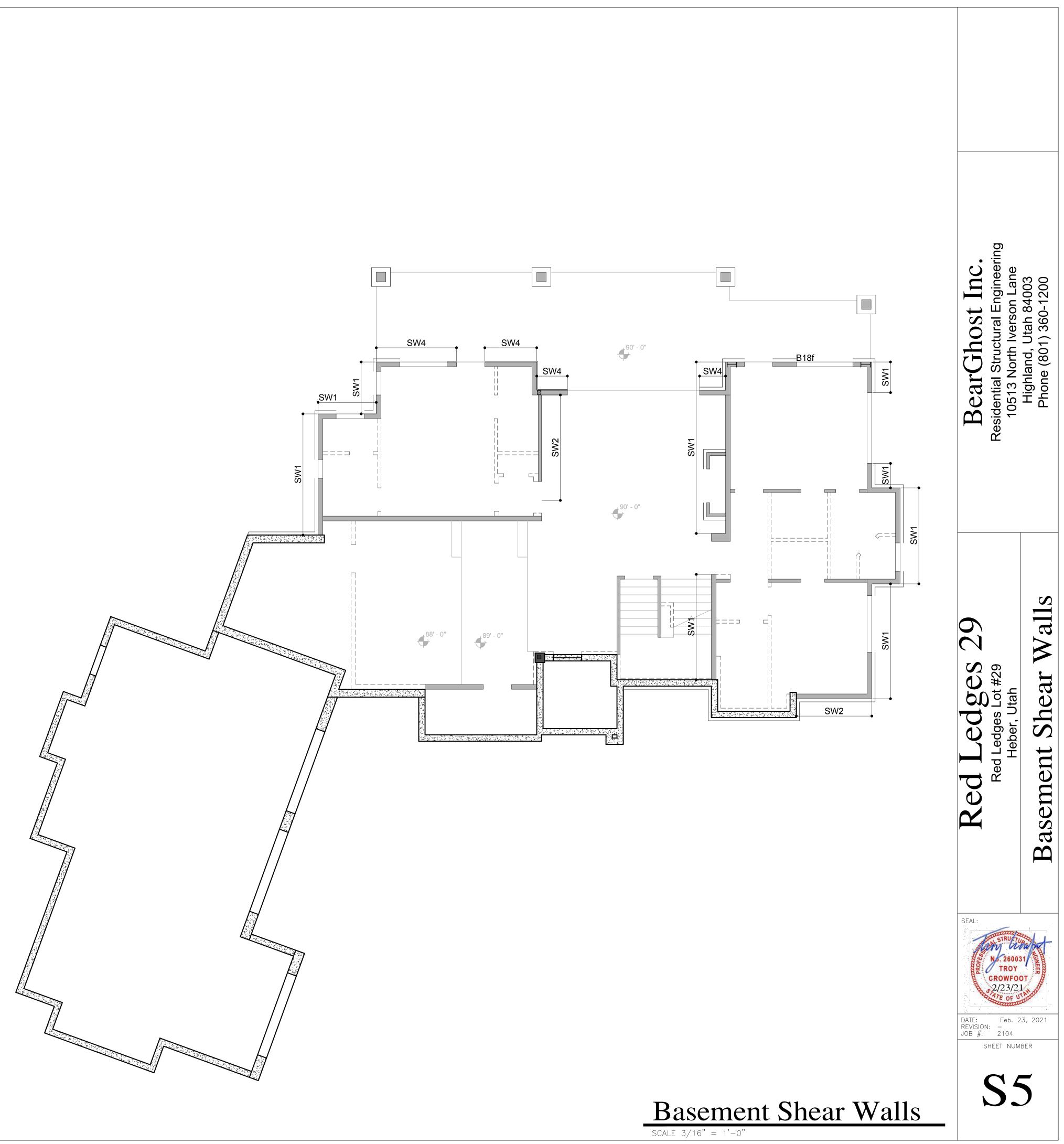
8. ST - See Detail #46.

9. SW1 - See Detail #47.

10.SW2 - See Detail #47.

11.SW3 - See Detail #48. 12.SW4 - See Detail #49. 13.SW5 - See Detail #50.





### SHEAR WALL SCHEDULE

LABEL	SHEATHING		SPAN	BLOCKED	NAILING			
	THICK.	TYPE	RATING	DLUGRED	NAILS	EDGE	FIELD	
SW1	7/16"	OSB	24/0	YES	8d	6"	12"	
SW2	7/16"	OSB	24/0	YES	8d	4"	12"	
SW3	7/16"	OSB	24/0	YES	8d	3"	12"	
SW4	7/16"	OSB	24/0	YES	8d	2"	12"	
SW5	3/4"	CDX	40/20	YES	(2)10d	3"	12"	
1. ALL NAILS, ARE COMMON NAILS.								
(8d common nails: Shank diameter .131", Length 2 1/2".)								
(10d common nails: Shank diameter, 148, Length 3")								

(10d common nails: Shank diameter .148, Length 3".)
2. NAILS ARE TO BE DRIVEN FLUSH WITH TOP OF SHEATHING.
(Do not over drive nails.)

(Do not over drive nails.) 3. STAGGER NAILS AT COMMON PANEL EDGES.

4. MST - See Detail #42.

5. RJ - See Detail #43.

6. HDU2 - See Detail #44.7. HDU5 - See Detail #45.

8. ST - See Detail #46.

9. SW1 - See Detail #47.

10.SW2 - See Detail #47.

11.SW3 - See Detail #48.

12.SW4 - See Detail #49. 13.SW5 - See Detail #50.



